

City of Norco  
Sixth Street Revitalization  
Specific Plan

*Prepared for*

City of Norco  
2870 Clark Avenue  
Norco, California 91760

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## 1.0 INTRODUCTION

### 1.1 Purpose

The purpose of the Sixth Street Revitalization Specific Plan is to guide *and* stimulate quality development that is consistent with Norco's equestrian lifestyle to the maximum mutual advantage of private businesses and the community.

The Specific Plan was created to:

- preserve the distinguishing small town, equestrian character of the City of Norco; and
- revitalize and attract new businesses to the Sixth Street corridor that directly and indirectly support the community's equestrian image and lifestyle, as well as the equestrian events that are held along the street and at Ingalls Park at the eastern end of the street.

The intent of the standards and guidelines is to promote a successful business environment by ensuring high standards of design, compliance with the City's equestrian design theme along Sixth Street, and comprehensive and uniform development of the streetscape. These development and design standards and guidelines are intended to:

- Be easily and readily applicable to private property improvements within the Specific Plan area.
- Functionally and visually unify the varied land uses, building types, and streetscape features.
- Establish a minimum standard of quality and aesthetics to enhance the economic vitality of the District.
- Establish an attractive ~~and unified~~, western design image reflecting the community heritage.
- Provide for ~~street trees and other right-of-way amenities~~ landscaping that ~~are~~ is appropriate for the climate, context, and character of the Specific Plan area.
- Promote safe, efficient patterns of vehicular and equestrian; ~~and pedestrian circulation, including appropriate parking lot locations and layouts.~~

The development and design standards contained in this document apply to property improvements and development in the Old Town Norco District (District) along Sixth Street. The regulations replace those contained in the existing *C-4 Commercial Zone of Chapter 18.23 of the Norco Municipal Code*. The regulations are augmented by both mandatory and discretionary design guidelines, many of which are included in the City's existing *Design Manual*, which is also being supplanted by this section of the *Sixth Street Revitalization Specific Plan*. The standards and guidelines apply to the following uses in the District:

- Any new development for which a building permit will be required.
- Any renovation as per Section 3.0 of this document.
- Any change of use or reuse where City approval is required.
- Establishment of any use within a building after a vacancy of six months or more.

### 1.2 Background

The challenges faced by the City of Norco to revitalize east Sixth Street are both unique to the circumstances of the corridor and the City, as well as generic to the problem of economic and physical revitalization anywhere. Currently, many of the uses along Sixth Street reflect the community's small town, equestrian character. Ingalls Park, located at the eastern edge of the study area is the community's primary equestrian gathering place and a key community activity center. Feed and hay stores, tack shops, and the village smithy provide testimony to Norco's emphasis on equestrian activities. In addition, the character of small commercial developments along the north side of the street, along with horse trails along both sides of the street and hitching posts at many uses, reinforce the community's equestrian theme, and also provide the types of gathering places reminiscent of a small town downtown. Several churches are also located along Sixth Street, emphasizing the corridor's importance as a community gathering place.

At the same time, the linear nature of Sixth Street tends to work against the creation of a small town downtown. Some recent developments along Sixth Street do not fit in with Norco's equestrian theme. In addition, commercial businesses along Sixth Street (other than those catering to equestrian needs) must compete with other commercial developments along the Hamner/Main corridor. The existence of narrow, deep lots and substantial residential development, also works against the creation of a small town downtown.

While Sixth Street serves an important function as the center of community equestrian life, it also serves a regional function, providing access between the I-15 freeway and the western portion of the City of Riverside. When Sixth Street is closed for major activities, such as Norco Horse Week and the Norco Rodeo, substantial traffic is forced to find its way through adjacent residential neighborhoods. Thus, the revitalization program contained in this document addresses not only land use, design, and economic development issues, but also circulation issues.

Since the early 1990s, the City of Norco has undertaken several planning efforts to stimulate economic development and to produce a unifying design theme along Sixth Street. Recommendations have included Specific Plans for development, zoning amendments, and Redevelopment Agency investment. During this time, the City has implemented the following:

- The *Sixth Street Old Town Norco Design Manual* to promote the design guidelines adopted in 1991. The guidelines have not been effective because they were not adopted as City code or inserted into an enforceable document such as this Specific Plan.
- The Sixth Street Facade Program, a two-year program funded by the Redevelopment Agency, provided financial assistance to business owners on Sixth Street to enhance building facades and make them more western in appearance. Only six businesses took advantage of the Sixth Street Facade Program, and the program turned out to be prohibitively expensive for the City.

In 1997, the City Council embarked on a new planning process to revitalize the Sixth Street corridor. By this time, community interest in pursu-



▲ *Convenience store.*

ing the redevelopment of Sixth Street had grown, and community residents and property owners had become more willing to work on ad-hoc committees and participate in planning efforts. Local interest was channeled by the City Council, who provided leadership and direction for the public's vision. This renewed planning process culminated in the "Sixth Street Revitalization Workshop," at which community stakeholders including citizens, business and property owners, Chamber of Commerce officials, and other interested persons provided input. The workshop resulted in the *Vision Plan for Old Town Norco*, which was presented to the City Council as a community-based recommendation for future planning and development efforts on Sixth Street. The document was intended to provide more thorough guidance and a clarity of interpretation for the planning process. The key conclusions of the Vision Plan for Sixth Street include the following:

- The master plan for Sixth Street should be developed as a "community based plan" with property owners, business owners, and residents actively participating.
- The City should continue to require and encourage a strong "western" design theme for existing non-conforming and future development. The western design theme should be as depicted in the Sixth Street Design Manual.
- The City should concentrate on the development of a strong retail and commercial district, Old Town Norco, between I-15 and Corona Avenue. The Old Town Norco District should

be phased to other parts of the street as development becomes stronger.

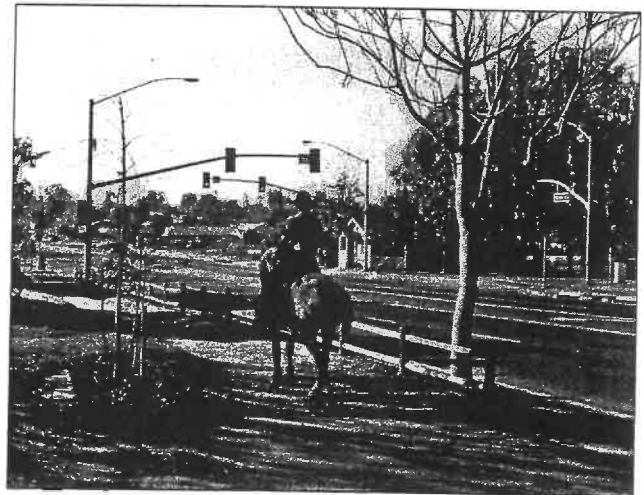
- Development within the Old Town Norco District should strive to represent and take advantage of the City's uniqueness.
- A concentrated effort should be provided to clean up and improve the general image of Sixth Street.
- The City should consider providing an incentive program to encourage and attract development on Sixth Street.

**1.3 Summary of Existing Conditions**

Sixth Street is a four-lane, 100-foot wide road with a middle two-way turning lane and no on-street parking. The Sixth Street Specific Plan area encompasses a 2.5 mile-long east-west corridor. As an arterial, and because of its generous curb-to-curb width of 64 feet, traffic generally moves much faster than the posted speed limit (35 mph), despite the numerous curb cuts along both sides of the street. The high speed of traffic is inappropriate for a community commercial district, and discourages pedestrians and horse riders from crossing from one side of the street to the other. The most easterly block of the Sixth Street, between California Avenue and Ingalls Park, is a two-lane road with no turning lane or designated parallel parking.

Equestrian trails exist in the public right-of-way (ROW) on both sides of the street. These trails are designated as "pedestrian/equestrian" trails, but are used almost exclusively for equestrian travel. There are no pedestrian pathways or bicycle lanes for the exclusive use of pedestrians and bicyclists, and which might promote walking between businesses.

The Specific Plan area is the primary commercial area serving the residential community located in the northern portion of the City, east of the freeway. It is characterized by a variety of uses, including neighborhood commercial centers, equestrian-related businesses, churches, light industrial, and single family residential development. There are also vacant and underutilized lots that are both small and significant in size. Of the seven blocks that comprise the Specific Plan area, the two westernmost blocks located closest to the freeway are the most commercial in character.



▲ Horseback rider on Sixth Street.

The majority of lots within the Specific Plan area are small. Only 16 of the 203 parcels in the Specific Plan area are over 1 acre in size, and only 30 have 130 feet of frontage or more.

Substantial variation exists among the street elements in the Specific Plan area, giving it a "cluttered" appearance. Trees vary in species, size and spacing along the right-of-way, fencing varies considerably in design and material, and building styles, materials, setbacks from the street, and orientation to the street vary from lot to lot. In addition to the lack of uniformity in street features, the clutter includes a wide variety of signage with different materials, lettering styles, colors, heights, and distances from the street. There are also numerous mail boxes of different styles and colors, utility boxes (which are a light green color), and fire hydrants (which are bright yellow). Trash contain-



▲ Visual clutter.

ers, both those that always remain in place and those that are placed at streetside once a week, add to the visual clutter, along with irrigation equipment, storage materials, and other miscellaneous features. Few street amenities such as hitching posts, benches, and landscaping, and pedestrian-scale lighting exist in the District, and ground vegetation is sparse.

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### 1.4 Goals

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It is the goal of the Sixth Street Revitalization Specific Plan to:

- Achieve a physical manifestation of "Horse Town USA."
- Create a place where people will feel comfortable and where they will want to be.

- Respect existing residents and businesses, and allow for the *voluntary*<sup>1</sup> conversion of land uses over time.
- Establish a downtown atmosphere along the western portion of Sixth Street.
- Make Sixth Street an attractive and desirable location for the establishment and prosperity of small, community-based businesses.
- Accommodate traffic safely and comfortably during normal, daily peak, and event conditions.

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<sup>1</sup> Allowing existing uses to stay as long as they want, and not forcibly remove anyone from the corridor.

2.0 DEVELOPMENT STANDARD AND DESIGN GUIDELINES

2.1 Land Uses

Presently, the Sixth Street corridor contains a mix of uses, with numerous residences scattered amid commercial buildings. Commercial development occurs along the Sixth Street corridor from Sierra Avenue to California Avenue, but is particularly clustered at the west end of the street east to Center Avenue. The portions of the Specific Plan east of California Avenue up to Ingalls Park are currently planned and zoned for residential use, and have been developed with single family residences. There are also a number of light industrial uses (small trucking companies) and community buildings.

2.1.1 Land Use Concepts

The Sixth Street corridor has a number of competitive strengths that form the basis of the City's land use scheme for the Specific Plan. Key among Sixth Street's assets is its existing equestrian character. Sixth Street is the center of Norco's equestrian life; its rugged charm is authentic, not contrived. The appearance, activity, and businesses in the corridor are reflective of the community, its purpose, vision, and needs. Enhancement of unique local character will serve as the basis to attract new businesses.

Sixth Street is a subregional equestrian center for retail goods and services. Sixth Street enjoys a market position that can be consolidated to serve the growing need for equestrian goods, services, and facilities, as equestrian-oriented development in other portions of Southern California is increasingly surrounded by traditional suburban development. Other competitive strengths include excellent regional access, and existing equestrian-oriented infrastructure in the form of trails and facilities at Ingalls park, supportive public policy, available land for de-

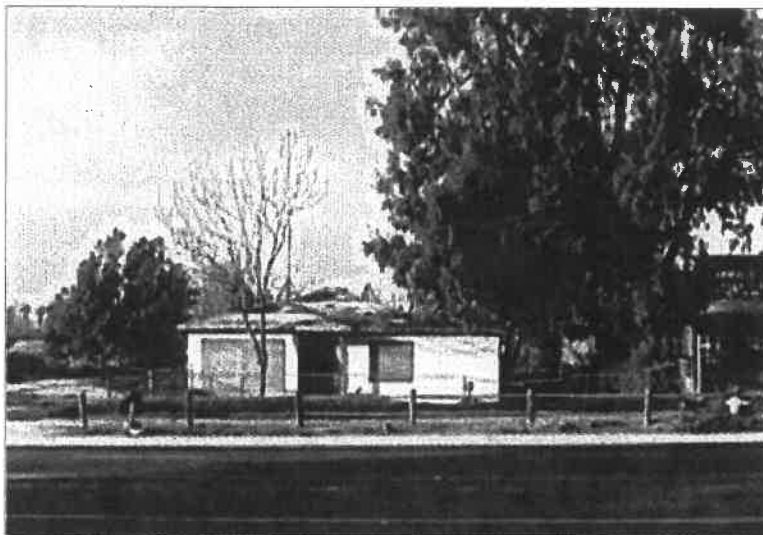
velopment, and competitive land prices. In addition, the City has embarked on a program to expand the use of Ingalls Park. The effect of this expansion will be to create an eastern "anchor" for commercial uses along the corridor, and to expand the market for equestrian-related goods and services.

It is the goal of the City to continue transforming the corridor into an exciting, vibrant commercial district that is reflective of Norco's equestrian lifestyle. This will be accomplished through:

- retention and expansion of existing equestrian-oriented businesses;
- promotion of commercial development that is compatible with the community's equestrian orientation;
- the attrition of existing residences west of California Avenue as they are voluntarily removed or converted to business use; and
- the expansion of permitted home occupations for residential uses along Sixth Street.

The City intends to market businesses that are directly related to equestrian use, and which support (and can benefit from) special equestrian events held at Ingalls Park and along Sixth Street.

*Only those commercial uses that are compatible with the community's equestrian character and adjacent residential uses will be supported by the City.*



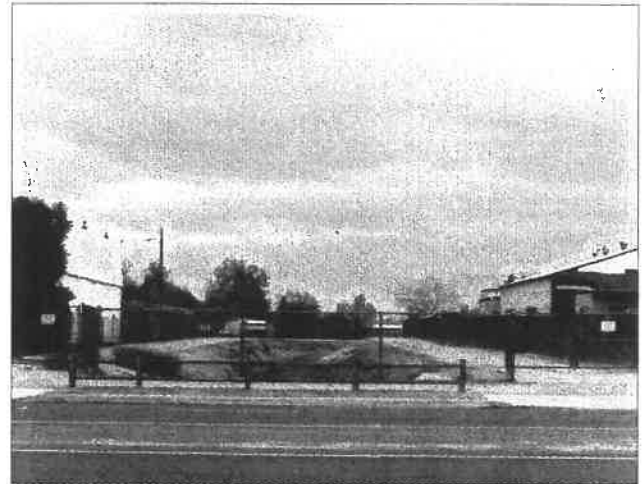
▲ Vacant residence.

Retail development should be concentrated as far east as Corona Avenue, especially for infill parcels, consistent with the Vision Plan and the Ad Hoc Committee's suggestion that residential land use is more acceptable towards the eastern end of Sixth Street. However,



because there are many existing businesses along every block east of Corona Avenue to California Avenue, opportunities for new business development along the Sixth Street up to California Avenue should be acted upon, and are appropriate.

Opportunities for creating small parks and resting areas for pedestrians and equestrians exist on the numerous vacant parcels along Sixth Street. Those that are less suitable for commercial development (i.e., narrow lots in the middle of the blocks) could remain as open space. Possibly the most appropriate location for such a park is along the drainage channel. The drainage channel could be enhanced for trail use, with a staging area or small park that could serve as a community focal point.



▲ Potential regional trail along drainage channel.

2.1.2 Permitted Uses

Table 2.A establishes the uses which are permitted, conditionally permitted, or prohibited (not permitted) within the Sixth Street Revitalization Specific Plan:

- P Permitted use
- C Permitted use, subject to approval of a Conditional Use Permit
- H Use permitted as an "expanded home occupation"

- Prohibited use (not permitted)
- (a) See corresponding special requirement in Section 2.1.3.

Accessory uses will be reviewed concurrently with each land use proposal.

Table 2.A - Permitted Uses

<i>Land Use Types</i>	<i>West of California Avenue</i>	<i>East of California Avenue</i>
<b>RESIDENTIAL USE TYPES</b>		
<i>Existing Residential Uses.</i> Activities include maintenance and expansion of existing, legally established single and multiple family housing units.	P (a)	P (a)
<i>Home Occupations.</i> Activities include accessory occupational use by a resident of a dwelling as a secondary use which is clearly incidental to the residential use of the structure, and which does not change the residential character of the lot on which the dwelling and home occupation are located. "Home occupations" must meet all of the requirements of Chapter 18.32 of the Norco Zoning Code, whereas "expanded home occupations" are required to meet the modified standards of Chapter 18.32 contained in this document.	P	P
<i>New Single Family Residential Uses.</i> Activities include construction of new single family detached residential dwelling units.	•	P

<i>Land Use Types</i>	<i>West of California Avenue</i>	<i>East of California Avenue</i>
<i>New Multiple Family Residential Uses.</i> Activities include construction of new multiple family (attached and detached) residential dwelling units.	•	•
<b>COMMERCIAL USE TYPES</b>		
<i>Administrative and Professional Offices.</i> Activities typically include, but are not limited to, administrative and clerical uses of private firms and public entities; provision of advice, design, information, or consultation of a professional nature. Uses typically include, but are not limited to, data storage, financial records, and auditing centers; architect's, lawyer's, insurance sales and claims offices; real estate offices; financial planners; and accountant's and bookkeeper's offices.	P	H (b)
<i>Alcohol Sales, On Site (On-Sale).</i> Activities typically include the sale, subject to required license, of alcoholic beverages for consumption <u>on</u> the premises. Uses typically include restaurants and bars.	P (c)	•
<i>Animal Care.</i> Activities typically include, but are not limited to, the grooming, animal care treatment, and boarding services for large and small animals. Uses typically include, but are not limited to, veterinary services and animal clinics, large and small animal hospitals, kennels, and grooming services.	P	H (b)
<i>Automotive and Light Truck Repair - Light.</i> Activities include, but are not limited to automotive and light truck repair, retail sales of goods and services for automobiles and light trucks, and the cleaning and washing of automobiles and light trucks. Uses typically include, but are not limited to general auto repair shops, and brake and muffler shops.	P(d)	•
<i>Automotive Cleaning and Washing.</i> Activities typically include the washing and polishing of automobiles. Uses typically include automobile laundries; car washes, excluding self service washes; and automotive detailing.	P (c, d)	•
<i>Automotive Service Station.</i> Subject to the provisions of Section 18.33 of the Norco Zoning Ordinance, activities typically include, but are not limited to the sale from the premises of goods and the provision of services normally required in the daily operation of motor vehicles, including the principal sale of petroleum products, the incidental sale of replacement items, and the performance of minor repairs.	P(d)	•

<i>Land Use Types</i>	<i>West of California Avenue</i>	<i>East of California Avenue</i>
<i>Bed and Breakfast Inn.</i> Activities typically include, but are not limited to, use of a single dwelling unit on a lot, along with onsite accessory structures, as a residence for the owner or manager and up to six (6) guest rooms which, for compensation provide temporary night-to-night lodging with or without meals.	P (c)	P(c)
<i>Existing Building Contractor's Offices and Storage Yards.</i> Activities typically include, but are not limited to, offices and storage of equipment, materials, vehicles, and supplies of contractors who are in trades involving construction activities such as plumbing, painting, electrical, roofing, carpentry, framing, dry wall, and other similar activities. Outdoor storage may be permitted subject to the screening requirements contained in this Specific Plan and in the Norco Zoning Code, Section 18.31.08.	P	H (b)
<i>New Building Contractor's Offices and Storage Yards.</i> Activities typically include, but are not limited to, offices and storage of equipment, materials, vehicles, and supplies of contractors who are in trades involving construction activities such as plumbing, painting, electrical, roofing, carpentry, framing, dry wall, and other similar activities. Outdoor storage may be permitted subject to the screening requirements contained in this Specific Plan and in the Norco Zoning Code, Section 18.31.08.	●	●
<i>Building Maintenance Services.</i> Activities typically include, but are not limited to, maintenance and custodial services, window cleaning services, disinfecting and exterminating services, and janitorial services.	P	H (b)
<i>Building Supplies and Sales.</i> Activities typically include, but are not limited to, the retail sale or rental from the premises of goods and equipment, including paint, glass, hardware, fixtures, electrical supplies, yard and garden supplies, and lumber and hardware stores. Also included are sales and rental of household and yard tools and equipment, as well as sales of building materials, such as brick, block, masonry, sand, and gravel. Ancillary rental of trucks is also included. Outdoor storage may be permitted subject to the screening requirements contained in this Specific Plan and in the Norco Zoning Code, Section 18.31.08. Not included are "big box" retail stores.	P	●
<i>Business Printing Services.</i> Activities typically include, but are not limited to, multi-copy and blue-print services. The printing of books, other than pamphlets and reports for another firm is not included in this use type.	P	●

<i>Land Use Types</i>	<i>West of California Avenue</i>	<i>East of California Avenue</i>
<i>Business Supply Retail and Services.</i> Activities typically include, but are not limited to, retail sales; rental or repair from the premises of office equipment, office supplies; and similar office goods.	P	●
<i>Business Support Services.</i> Activities typically include, but are not limited to, firms rather than individuals of a clerical, employment, or minor processing nature, including bookkeeping and medical transcribing, multi-copy and blue-print services.	P	H (b)
<i>Child Care Homes and Facilities.</i> Activities typically include, but are not limited to, day time non-medical care and supervision of children or seniors in an appropriate environment Typical uses include family home day care infant centers, preschools, and extended child care facilities.	P (c)	P(c)
<i>Convenience Sales.</i> Activities typically include, but are not limited to, the retail sales of frequently needed small personal convenience items and professional services which are frequently used. Uses typically include, but are not limited to, convenience markets, drug stores, beauty and barber shops, and dry cleaning establishments.	P	●
<del><i>Durable Goods Sales/Big-Box Retail.</i> Activities typically include, but are not limited to, the retail sales from premises. Uses typically include, but are not limited to, furniture, piano and organ, major appliance (e.g., refrigerator and carpet and flooring stores). Also included is large-scale discount retailing commonly identified as "big box retail."</del>	●	●
<i>Eating and Drinking Establishments.</i> Activities typically include, but are not limited to, the retail sale of food or beverages prepared for on-premises consumption. Uses typically include, but are not limited to, restaurants fast food facilities, donut shops, and coffee sales.	P (c)	P (c)
<i>Entertainment/Recreation.</i> Activities typically include, but are not limited to, Sports performed either indoors or outdoors, entertainment services, or recreation for participants or spectators. Specific entertainment/recreation use types include:		
(1) <i>Amusement Center.</i> Public places of amusement or business in which four or more coin-operated amusement devices are installed, such as photography machines, video games, muscle testers, fortune telling machines, and other games of skill or science, but not including games of chance or other similar devices. Included are any place open to the public, whether or not the primary use of the premises is devoted to operation of such devices.	P (c)	●

<i>Land Use Types</i>	<i>West of California Avenue</i>	<i>East of California Avenue</i>
(2) <i>Clubs and Lodges.</i> Predominantly halls and meeting facilities for fraternal organizations. Typical groups include Elks and Moose.	P (c)	●
(3) <i>Indoor Sports and Recreation.</i> Predominantly participant and spectator sports conducted within an enclosed building. Typical uses include bowling alleys, billiard parlors, ice and roller skate rinks, and indoor basketball and racquetball courts. Sales of prepared foods and beverages is permitted ancillary to the primary sports and recreational character of the use.	P (c)	●
(4) <i>Outdoor Sports and Recreation.</i> Predominantly participant sports conducted outside of an enclosed building. Typical uses tennis courts, batting cages, equestrian riding rings, and miniature golf. Also included are athletic education and practice facilities. Sales of prepared foods and beverages is permitted ancillary to the primary sports and recreational character of the use.	P (c)	●
<i>Equestrian and Agricultural Supplies and Services.</i> Activities typically include, but are not limited to, the retail sales from the premises of feed and grain, fertilizers, pesticides, herbicides, saddles, tack, and similar goods. Uses typically include, but are not limited to, feed and grain stores and retail saddle/tack shops.	P	H (b)
<i>Financial Institutions.</i> Uses typically include, but are not limited to, banks, savings and loans, and credit unions.	P	●
<i>Food and Beverage Sales.</i> Activities typically include, but are not limited to retail sale from the premises of food and beverages for off-premises consumption. Uses typically include markets, mini-markets, liquor stores, and retail bakeries.	P	●
<i>Funeral Services.</i> Activities typically include, but are not limited to, services involving the care, preparation, and observances prior to the disposition of human dead in cemeteries, crematories, or mausoleums.	E	●
<i>Health Clubs and Spas.</i> Activities typically include, but are not limited to sport and health-related activities performed either indoors and outdoors that are not expressly prohibited by the Norco Zoning Code. Users typically include, but are not limited to, health clubs, spas, gyms, and tennis clubs.	P (c)	●

<i>Land Use Types</i>	<i>West of California Avenue</i>	<i>East of California Avenue</i>
<i>Health Care Services.</i> Activities typically include, but are not limited to, the provision of out-patient therapeutic, preventive, or correctional personal treatment (including out-patient surgical services) by physicians, dentists, chiropractors, and other medical practitioners, as well as the provision of out-patient work-related emergency medical treatment. Does not include facilities for in-patient treatment.	P	H (b)
<del><i>Hospital.</i> Activities include, but are not limited to, provision of medical and surgical services for sick and injured persons, primarily on an in-patient basis, and including ancillary facilities for out-patient and emergency treatment, diagnostic services, training, research, and administration.</del>	<del>P (e)</del>	<del>•</del>
<del><i>Hotels and Motels.</i> Activities typically include, but are not limited to, lodging services to transient guests on a less-than-monthly basis, other than private boarding houses.</del>	<del>G</del>	<del>•</del>
<i>Newsstands.</i> Activities typically include, but are not limited to, sales of newspapers, magazines, and books from a kiosk or small store.	P	•
<i>Nurseries.</i> Activities typically include, but are not limited to, sales of indoor and outdoor plants, including, but not limited to, trees, shrubs, ground covers, and grass sod, as well as seeds, pots and potting supplies, and growing supplies.	P	H (b)
<i>Personal Services and Sales.</i> Activities typically include, but are not limited to retail sales of small personal convenience items and professional services which are used frequently by the business community. Uses typically include, beauty and barber shops, florist shops, photography studios, apparel laundering and dry cleaning agencies, contract post offices, and travel agencies.	P	•
<i>Repair Services.</i> Activities typically include, but are not limited to, repair of such articles as upholstery, furniture, electronic equipment, and large electrical appliances.	P	H (b)

<i>Land Use Types</i>	<i>West of California Avenue</i>	<i>East of California Avenue</i>
<b>ARTCRAFT AND INDUSTRIAL USES</b>		
<i>Artcrafts.</i> Activities typically include, but are not limited to, creating, assembling, compounding, treating, and/or manipulation of materials by artisans to create individual pieces primarily through manual dexterity or artistic talent. Activities also include the onsite sale of such pieces. Uses typically include, but are not limited to, restoration and repair of antiques; artists studios (including painting and sculpting); basket making; blacksmithing, candle making; cartoon and animation; book restoration and custom binding; ceramics and pottery; production of glass crystal figures, glass art, and stained glass; custom jewelry design and manufacturing; metal engraving; manufacture and repair of musical instruments; photography studios; picture mounting and framing; leather goods, including custom shoe making; ornamental iron; silk screen production; taxidermy; textile weaving by hand looms; watch and clock making; and woodcarving and custom furniture.	P	H (b)
<del><i>Light Manufacturing and Assembly.</i> Activities typically include, but are not limited to, the mechanical or chemical transformation of raw or semi-finished materials or substances into new products, including manufacture of products, assembly of component parts (including required packaging for retail sale), and treatment and fabrication operations. Light manufacturing is conducted wholly within an enclosed building. Light manufacturing activities do not produce odors, noise, vibration, or particulates which would adversely affect uses within on the same or adjacent sites.</del>	<del>P (c)</del>	<del>•</del>
<i>Existing Trucking Company Terminals, Offices, and Storage Yards.</i> Activities typically include, but are not limited to, storage, parking, and dispatching of trucks, along with associated administrative and clerical functions.	P	•
<i>New Trucking Company Terminals, Offices, and Storage Yards.</i> Activities typically include, but are not limited to, storage, parking, dispatching, and rental of trucks, along with associated administrative and clerical functions.	•	•

<i>Land Use Types</i>	<i>West of California Avenue</i>	<i>East of California Avenue</i>
<b>CIVIC USE TYPES</b>		
<i>Civic Administration.</i> Activities typically include, but are not limited to, public and private post offices and mail processing; management, administration, or clerical services performed by public, quasi-public, and utility agencies.	P	●
<i>Cultural Facilities.</i> Activities typically include, but are not limited to, those performed by public and private museums and art galleries, public and private libraries and observatories. Also included are facilities for the performing arts.	P	●
<i>Educational Facilities.</i> Activities typically include, but are not limited to:		
<ul style="list-style-type: none"> <li>• public or private instruction in the several branches of learning and study required to be taught in the public schools by the California Education Code;</li> </ul>	P (c)	●
<ul style="list-style-type: none"> <li>• vocational instruction; and</li> </ul>	P (c)	●
<ul style="list-style-type: none"> <li>• music, art, or dance instruction to groups in a classroom or studio setting.</li> </ul>	P (c)	H (b)
<i>Flood Control/Utility Corridor.</i> Activities include, but are not limited to, flood control channels and utility corridors.	P	P
<i>Public Assembly.</i> Activities typically include, but are not limited to, those performed by, or at, the following institutions or installations.	P	P
<ul style="list-style-type: none"> <li>• parks, gardens, and passive open space areas;</li> <li>• public and semi-public playgrounds and playing fields, and active use recreation areas;</li> <li>• public meeting halls, gymnasiums and youth and community centers</li> <li>• public parking lots; and</li> <li>• equestrian staging areas.</li> </ul>		
<i>Religious Assembly.</i> Activities typically include religious services and assembly such as customarily occurs in churches, synagogues, and temples.	P	P



<i>Land Use Types</i>	<i>West of California Avenue</i>	<i>East of California Avenue</i>
<i>Transit Facilities.</i> Activities typically include those related to public and private transportation. Uses typically include, but are not limited to, bus, rail, and multi-modal transit stations, as well as park and ride lots.	E	•
<b>ANCILLARY AND ACCESSORY USES</b>		
<i>Ancillary and Accessory Uses.</i> Activities include those that are customarily related to, and are clearly incidental and subordinate to the primary use of a site, lot, or building.	P	P
<i>Animal Keeping.</i> Activities include the keeping of domestic and farm animals at a lawfully existing or legal non-conforming use in conformance with the provisions of the Norco Zoning Ordinance Section 18.35.	P	P
<i>Drive-in/Drive-Through Facilities.</i> Includes ancillary facilities for providing retail sales and commercial services to customers who remain in their cars.	P (c,d)	•
<i>Special Events.</i> Activities typically include the temporary use of lands, buildings, or structures for purposes of sales, advertising, or promotion in accordance with the provisions of Chapter 18.51 of the Norco zoning code, but not including “garage” or “yard sales” which are permitted subject to the provisions of Norco zoning code Chapter 5.32. Uses include those set forth in Section 18.51.020 of the Norco Zoning Code, including, but are not limited to, seasonal, parking lots, and sidewalk sales; carnivals, circuses, rodeos, and traveling amusements; outdoor shows, exhibits; parades, processions, concerts, festivals and similar events; temporary construction offices; temporary advertising and/or promotional displays; and temporary parking.	P	P

**2.1.3 Special Requirements**

- (a) “Expansion” includes structural alterations to enlarge existing dwelling units, but does not include construction of additional multiple family (attached or detached) dwelling units.
- (b) The use is permitted subject to the standards for expanded home occupations contained in Section 2.1.5 of this document.
- (c) The use is permitted subject to the applicable requirements of Section 2.1.6 of this document.
- (d) New uses shall not be located east of parcels located at the intersection of Sixth Street and

Sierra Avenue. Existing uses are permitted to continue as permitted uses.

**2.1.4 Prohibited Uses**

The following uses are prohibited within the Sixth Street corridor.

- Sales, rental, or advertising of goods on any portion of the property designated to be used for vehicular parking, landscaping, traffic circulation, or vehicle loading, except as permitted for special events by City Code Section 18.38.13.
- Heavy manufacturing and heavy industrial uses.

- Light industrial uses not compatible with neighborhood serving retail uses, because of potential environmental impacts such as those listed in Section 2.1.4 or as determined by City Planning Commission.
- Portable sanitation facilities, except during construction, special events, and as approved by City staff.
- Automobile and truck sales.

**2.1.5 Expanded Home Occupations**

Notwithstanding the provisions of Chapter 18.32 of the Norco Zoning Code, permitted expanded home occupations shall be subject to the following provisions in lieu of the provisions of Section 18.32.06, Conditions.

- Outdoor storage of vehicles and equipment is permitted subject to applicable screening provisions contained in this document (in lieu of Conditions [1] and [5]).
- Up to four (4) individuals who do not reside in the household may be employed (in lieu of Condition [2]).
- Upon approval of the City of Norco Utility Services, the operation of the home occupation may be permitted to be serviced with a greater amount of City of Norco Utility Services than would be required to serve the primary dwelling solely for its use as a residence by the family conducting the home occupation (in lieu of Condition (8)).
- A separate entrance or exit to the main dwelling or garage may be provided for the home occupation use (in lieu of Condition [9]).
- The home occupation may result in greater pedestrian or vehicular traffic than would be caused by the residential use itself, provided that applicable off-street parking requirements for the residential dwelling and the commercial use most similar to the home occupation are met (in lieu of Condition [10]).

**2.1.6 Specific Use Development Standards**

Certain uses and activities, due to their nature, have the opportunity to create a greater degree of impact

upon the community and adjacent uses than others, while certain other uses are sensitive and require a greater level of review than is generally available. As a result, specific regulation of these activities and uses is warranted. The purpose of this section is to identify and provide appropriate regulations for such uses.

**Alcohol Sales, On-Sale and Off-Sale**

The purpose of this section is to preserve a healthy environment for visitors, businesses, and adjacent residents by establishing a set of consistent standards for the safe operation of alcoholic beverage retail outlets within the Sixth Street corridor. It is recognized that alcoholic beverage sales can be an important part of hospitality, entertainment, and related enterprises. It is further recognized that, because of the potential secondary effects on alcohol sales, responsible regulations are needed. The following standards shall apply to on-sale and off-sale alcohol outlets.

- Signs and Displays.
  - ~~Signs and displays in off-sale beverage outlets shall not obstruct the sales counter, cash register, seller, and customer from view from the exterior.~~
  - Loitering, open container, and other signs specified by the Alcoholic Beverage Control Act shall be posted as required by the ABC, and shall not count toward the maximum sign requirements specified in this Specific Plan.
- Drinking Alcohol Outside. With the exception of eating and drinking establishments having approved outdoor or sidewalk café dining, as well as special events permitted pursuant to the provisions of Chapter 18.51 of the Norco Zoning Code, the selling of alcoholic beverages for consumption outside the building shall be prohibited.
- Nuisances. Reasonable steps to discourage and correct objectionable conditions that constitute a nuisance in parking areas, sidewalks, and areas surrounding the alcoholic beverage outlet and adjacent properties shall be taken by the operator of an alcoholic beverage outlet during business hours if such conditions are directly related to the patrons of the subject outlet. "Reasonable steps" shall include calling the police in a timely manner, preventive design features (see below),

and requesting those engaging in such activities to cease those activities unless personal safety would be threatened in making that request.

- Hours of Operation. On-sale alcoholic beverage sales shall not be permitted after 10:00 p.m. Sunday through Thursday and after midnight on Fridays and Saturdays, unless a conditional use permit to extend hours is approved by the Planning Commission.
- Mode of Sale. Alcoholic beverage sales from drive-up windows shall be prohibited.
- Preventative Design. The site plan and floor plan of all alcoholic beverage outlets shall incorporate design features to assist in reducing alcohol-related problems. The Planning Director may condition the alcoholic beverage outlet to incorporate preventative design features such as, but not limited to:
  - openness to surveillance and control of the premises, the perimeter, and surrounding properties;
  - reduction of opportunities for congregating and obstructing public ways and neighboring property;
  - illumination of exterior areas; and
  - limiting furnishings and features that encourage loitering and nuisance behavior.
- Security. The Planning Director may require the alcoholic beverage outlet to provide adequate security personnel and/or devices.
- Litter and Graffiti. The exterior of the alcoholic beverage outlet, including all signs and accessory buildings and structures shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter, and debris from the premises and on all abutting trails and walks within 20 feet of the premises. Graffiti shall be removed within 48 hours of written notice from the City.
- Responsible Beverage Service/Sales Training Requirements.
  - Required Training. All owners, managers, and employees serving and/or selling alco-

holic beverages in alcoholic beverage outlets shall undergo and successfully complete a certified training program in responsible methods and skills for serving and selling alcoholic beverages.

- Certified Programs. To fulfill the requirements of this section, a certified program must meet the standards of the California Coordinating Council on Responsible Beverage Service (CCC/RBS) or other certifying/licensing body which the State may designate.
- Timetable for Compliance. New alcoholic beverage outlets shall comply with the requirements of this section within 180 consecutive days of the issuance of a business license.
- Records. Records of each owner's, manager's, and employee's successful completion of the certified training program required by this section shall be maintained on the premises of the alcoholic beverage outlet and shall be presented upon request by a representative of the City.

~~Waiver. The Planning Director may waive or modify all or part of the requirements of this section upon finding that the employees of the alcoholic beverage outlet are sufficiently knowledgeable in the responsible methods and skills for serving and selling alcoholic beverage training.~~

*Automobile and Truck Repair Facilities*

Automobile and truck repair facilities, where they are permitted, shall comply with the following standards:

- Except as may be specifically provided herein, repair activities and operations shall be screened from view from Sixth Street and from adjacent residences.
- The premises shall be kept in a neat and orderly condition at all times, and all improvements shall be maintained in a condition of good repair and appearance. No used or discarded automotive or truck parts or equipment or permanently disabled, junked, or wrecked vehicles may be stored outside of an enclosed building. Neither

shall used or discarded automotive or truck parts or equipment or permanently disabled, junked, or wrecked vehicles be stored within buildings such that they are visible from Sixth Street.

- Parking and loading areas required by the provisions of Chapter 18.38 of the Norco Zoning Code, as well as public and private streets and rights-of-way shall not be used for the repair or finishing work or storage of vehicles to be repaired or waiting for customer pickup.
- All runoff shall be drained from the site in a controlled manner subject to the approval of the City Engineer.

***Bed and Breakfast Inns***

The following standards apply to bed and breakfast inns, but not to the renting of bedrooms within a residence to the same tenant(s) for longer than seven days, although the City may still require special fees and/or licensing for any residential rental of less than 30 days.

- A bed and breakfast inn may only be established in a single family dwelling that meets all of the architectural standards of the Sixth Street Specific Plan.
- A bed and breakfast inn shall provide no more than six (6) guest rooms.
- Off-street parking shall be provided at a rate of two spaces, plus one space per approved transient lodging unit. Bed and breakfast inns shall not use on-street parking or municipal parking lots to meet this requirement.

***Child Care Homes and Centers***

Child care homes and centers shall meet the requirements of Chapter 18.56 of the Norco Zoning Code, with the following exception for establishment of a child care center.

- Operation of a child care center shall be subject to the review and approval of a child care center permit by the Director of Community Development in accordance with the provisions of Section 18.56.03(3)(a)(i) through (iv) of the Norco Zoning Code.

***Churches***

The following standards shall be applied to the establishment of new churches and related facilities within the Sixth Street Corridor.

- Adequate off-street parking shall be provided per the standards of Chapter 18.38 of the Norco Zoning Code. Churches shall not use on-street parking or municipal parking lots to meet this requirement.

***Eating and Drinking Establishments***

Within the area east of California Avenue, eating and drinking establishments shall be limited to sit-down restaurants located at the northeast or southeast corners of California Avenue and Sixth Street.

Outdoor dining facilities may be permitted at otherwise permitted eating and drinking establishments subject to the following provisions:

- The outdoor dining area is accessory to the primary eating and drinking establishment.
- The outdoor dining area shall not be used for diners arriving before 6:00 a.m. or after 10:00 p.m. Extended hours may be permitted subject to the approval of a conditional use permit by the Planning Commission.
- No amplified music or entertainment is permitted outdoors. All doors and windows leading to the outdoor dining area shall remain closed while any approved indoor amplified music is being played.
- Roof coverings over outdoor dining areas shall not have the effect of creating a permanent enclosure. Fences, walls, and similar barriers shall serve only to define the outdoor dining area and not constitute a permanent all-weather enclosure.

***Entertainment/Recreation***

- Amusement centers. The following standards shall be applied to the installation and management of electronic, mechanical, or video games where five (5) or more games are operated as a commercial enterprise.

- Amusement centers shall be located within a completely enclosed building, in space that is separate from other uses on the same site, and so designed as to prevent excessive noise from affecting other uses in the immediate vicinity.
- Public restrooms shall be provided and so designated within the same building, or portion thereof, where the games are located.
- A minimum of one (1) adult supervisor shall be on the premises at all times during business hours. ~~Amusement centers with ten (10) or more games shall also have a uniformed guard on the premises at all times during business hours.~~
- Bicycle racks shall be provided near the entrance to the facility.
- Exterior lighting shall be maintained during all hours of operation at a minimum of 1.5 foot candles per square foot of paved surface adjacent to all exterior walls of the building or portion thereof, where the games are located.
- ~~Minors not accompanied by and under the supervision of a responsible adult shall be prohibited from using the games during hours when schools within the Corona-Norco Unified School District are in regular session.~~
- Sale of alcohol for consumption on the premises shall not be permitted within any portion of a building within which an amusement center is operated, unless such sale of alcohol is accessory to another permitted use (e.g., restaurant, indoor, and outdoor sports and recreation).
- Clubs and lodges. The following standards shall be applied to the operation of clubs and lodges within the Sixth Street corridor.
  - Adequate off-street parking shall be provided per the standards of Chapter 18.38 of the Norco Zoning Code. Clubs and lodges shall not use on-street parking or municipal parking lots to meet this requirement.
  - Use of club and lodge facilities after 10:00 p.m. Sunday through Thursday and after midnight on Fridays and Saturdays, shall not be permitted, unless a conditional use permit to extend hours is approved by the Planning Commission.
  - The sale or provision of alcohol at club/lodge functions or within on-site dining or banquet facilities shall comply with the alcohol sales provisions, above, of this Specific Plan.
- Indoor sports and recreation. The following standards shall be applied to the operation of indoor sports and recreation facilities within the Sixth Street corridor.
  - Operation of indoor sports and recreation facilities shall not be permitted after 10:00 p.m. Sunday through Thursday and after midnight on Fridays and Saturdays, unless a conditional use permit to extend hours is approved by the Planning Commission.
  - The sale or provision of alcohol at indoor sports and recreation facilities shall comply with the alcohol sales provisions, above, of this Specific Plan.
- Outdoor sports and recreation. The following standards shall be applied to the operation of outdoor sports and recreation facilities within the Sixth Street corridor.
  - Operation of outdoor sports and recreation facilities shall not be permitted after 10:00 p.m., unless a conditional use permit to extend hours is approved by the Planning Commission.
  - The sale or provision of alcohol at outdoor sports and recreation facilities shall require the approval of a conditional use permit, and shall comply with the alcohol sales provisions, above, of this Specific Plan.

*Health Clubs and Spas*

~~The following standards shall be applied to the operation of clubs and lodges within the Sixth Street corridor:~~

- ~~• Adequate off-street parking shall be provided per the standards of Chapter 18.38 of the Norco Zoning Code. Health clubs and spas shall not use on-street parking or municipal parking lots to meet this requirement.~~

- ~~Use of health club and spa facilities before 6:00 a.m. or after 10:00 p.m. shall not be permitted, unless a conditional use permit to extend hours is approved by the Planning Commission.~~

**Hospitals**

~~Out-patient, non-emergency facilities which operate between the hours of 6:00 a.m. and 10:00 p.m. are permitted. A conditional use permit approved by the Planning Commission shall be required for the following:~~

- ~~Extended hours for outpatient care.~~
- ~~In-patient care and treatment.~~
- ~~Emergency and trauma facilities.~~

**Educational Facilities**

The following standards shall be applied to educational facilities within the Sixth Street Corridor, including educational facilities established as part of permitted churches.

- Adequate off-street parking shall be provided per the standards of Chapter 18.38 of the Norco Zoning Code. Educational facilities shall not use on-street parking or municipal parking lots to meet this requirement.
- For educational facilities serving minors, an off-street student drop-off and pick-up area shall be provided. The drop-off and pick-up area shall provide sufficient room for stacking of vehicles so that the vehicle queuing is accommodated on site.

**Drive-In/Drive-Through Facilities**

The following standards shall apply to all new drive-up windows and remote tellers established within the Sixth Street corridor.

- The design and location of the drive-up window and lane:
  - shall not contribute to increased traffic congestion on public or private streets adjacent to the site on which they are located; and
  - shall not impede access to or exit from the parking lot serving the primary use of the

site, nor shall they impair normal vehicular and pedestrian circulation within the site.

- Drive-up windows and remote tellers shall provide at least 180 feet of reservoir space for each window, as measured from the service window to the entry point into the drive-up lane.
- Entrances to drive-up lanes shall be at least 25 feet from driveways entering from a public street.
- The existence of drive-up windows or remote tellers shall not be considered justification for reducing the number of off-site parking spaces which would otherwise be required.

**2.1.7 Performance Standards**

**Air Quality**

- Any operation or activity which might cause the emission of any smoke, fly ash, dust, fumes, vapors, gases, or other forms of air pollution, which can cause damage to human health, vegetation, or other forms of property, or can cause excessive soiling on any other parcel shall conform to the requirements of the South Coast Air Quality Management District (SCAQMD).
- Prior to commencing grading operations, the applicant for any grading permit shall prepare an erosion control and sediment plan for approval by the City. Access roads within the area being graded shall be kept wet while being used, or shall be treated with oil, asphaltic concrete, concrete, or other similar material approved by the City.

**Electrical or Electronic Interference**

- No operation or activity shall cause any source of electrical or electronic disturbance that adversely affects persons or the operation of any equipment on any other parcel, and which is not in conformance with the regulations of the Federal Communications Commission.

**Hazardous Materials Management**

- New uses will be required to comply with the provisions of the Riverside County Hazardous Waste Management Plan; the most current amendments to the California Code of Regula-

tions, Titles 22 and 27; applicable requirements under the National Pollution Discharge Elimination System (NPDES); and any other applicable City, County, state or federal standard relating to the use, storage, handling, transportation, or disposal of hazardous materials.

***Light and Glare***

- Unless intended as part of a master lighting plan approved by the Director of Community Development, no operation, activity, or lighting fixture shall create illumination exceeding 0.5-foot candles on any adjacent property, whether the illumination is direct or indirect light from the source. Glare levels shall be measured with a photoelectric photometer, following standard spectral luminous efficiency curves adopted by the International Commission on Illumination.

***Liquid and Solid Waste Disposal***

- All discharges of materials into any public or private street, storm drain, flood control facility, or into the ground shall be in accordance with the adopted standards of the City, the California Department of Health Services, Santa Ana Regional Water Quality Control Board, and other governmental agencies having legal jurisdiction, in order to avoid contaminating water supplies, interfering with bacteriological processes in sewage treatment, or otherwise creating a public health hazard.
  - Liquid waste disposal and runoff control shall be conducted within the guidelines of the Regional Water Quality Control Board.
  - Disposal of liquid waste must also meet the applicable guidelines of the County Department of Environmental Health Services and, if such disposal is into the sewer system, such disposal shall meet the requirements of the City.
- Hazardous waste handling, transportation, recovery, and disposal shall comply with applicable federal and State laws, as well as with the Riverside County Hazardous Waste Management Plan.
- Solid waste disposal shall comply with applicable City and waste hauler requirements, as well as federal and State laws.

- Trash areas shall not be used for storage. The premises shall be kept in a neat and orderly condition at all times, and all improvement shall be maintained in a condition of good repair and appearance.
- All new development projects are to be consistent with the provisions of the City's Source Reduction and Recycling Element.

***Maintenance of Open Areas***

- All open areas shall be landscaped, paved, or treated, and shall be maintained permanently in a dust free condition.

***Noise***

Table 2.B describes the noise standard for emanations of noise from any stationary noise source as it affects adjacent properties.

*Table 2.B - Desired Noise Levels*

<i>Land Use Category</i>	<i>Day (dBA)</i>	<i>Night (dBA)</i>
Residential	60	45
Commercial	70	55
Industrial	70	55
Schools	50	40
Parks	55	45
Hospitals	50	40

- No person shall operate or cause to be operated any stationary source of noise at any location or allow the creation of any noise on property owned, leased, occupied, or otherwise controlled by such person, which causes the noise level, when measured on or within other planning areas to exceed:
  - The noise standard specified in Table 2.B for the receiving land use for a cumulative period of more than thirty (30) minutes in any hour.
  - The noise standard specified in Table 2.B for the receiving land use plus 5 dBA for a cumulative period of more than fifteen (15) minutes in any hour.

Readings are to be made at points of maximum vibration along any lot line.

- Ground vibration caused by moving vehicles, trains, aircraft, or temporary construction or demolition is exempted from this requirement, as is ground vibration caused by emergency equipment, vehicles, devices, and activities, as well as from temporary construction maintenance, or demolition activities conducted between the hours of 6:00 a.m. and 7:00 p.m.

## 2.2 Site Planning

Standards and guidelines for site planning are intended to:

- Promote efficient use of each property along Sixth Street;
- Establish appropriate relationships between buildings and adjacent properties, the street and parking areas;
- Create uniformity and flexibility for building arrangement; and
- Create an attractive and equestrian/pedestrian-friendly streetscape; and
- ~~Provide pedestrian and equestrian access from the Sixth Street right-of-way (ROW) to buildings on individual parcels.~~

### 2.2.1 Lot Requirements

New parcels to be created within the Sixth Street corridor shall conform to the following minimum requirements.

- Minimum Area: 14,000 square feet
- Minimum Width: 80 feet
- Minimum Depth: 175 feet
- Landscaping: A minimum of 10 percent of non-residential development sites shall be devoted to landscaping.
- Common Areas: Driveway and parking easements used in common between two or more lots shall be considered as part of the lot dimension standards.

Any existing lot of record that does not meet these minimum parcel size, width, and depth requirements may be developed pursuant to the other provisions of this document.

### 2.2.2 Lot Consolidation

The consolidation of adjacent individual properties, especially deep and narrow lots, into single larger parcels is encouraged and may be necessary to meet the minimum lot standards in Section 2.2.2, to accomplish the following goals:

- Provide greater flexibility in building siting.
- Orient buildings to the street.
- Provide for a diversity of building and site uses.
- Allow more space for site amenities and outdoor architectural features such as covered porches and plazas.
- Provide for areas for horses with shade trees and hitching posts.

### 2.2.3 Setbacks

#### Front Setback

The following setback requirements shall apply to new buildings and parking areas constructed within the Sixth Street corridor after the effective date of this Specific Plan.

- For buildings under 15 feet in height, the front setback shall be a minimum of 10 feet from the Sixth Street right-of-way.
- For buildings 15 feet and higher, the front setback shall be a minimum of 30 feet from the right-of-way. Variances may be granted based upon Planning Commission determination that sufficient, appropriately designed features (e.g., covered porch, boardwalk, horse facilities) are planned in the setback that justify decreasing the setback.
- No parking is permitted within the front setback.



**Side Setback**

The following setback requirements shall apply to new buildings and parking areas constructed within the Sixth Street corridor after the effective date of this Specific Plan.

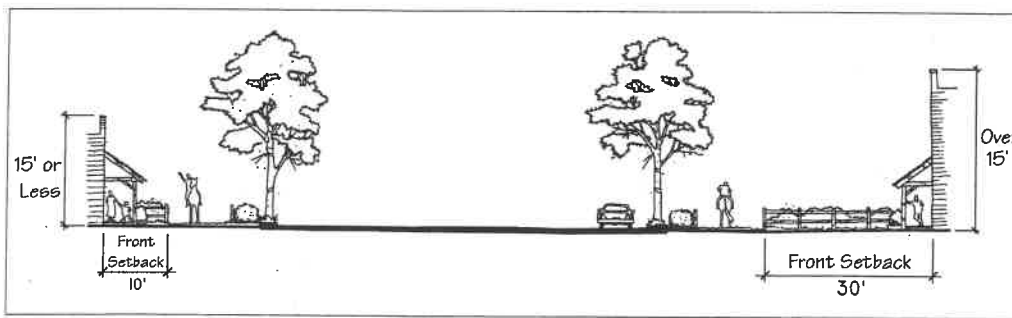
- A minimum of 10 feet from the property lines, including property lines along side streets. This setback may be reduced to zero, provided that a minimum separation between buildings which do not butt-up against each other on the property line is maintained. Where a building is con-

- When side parking is provided, the distance between buildings shall be no less than 30 feet, with 3 feet of landscaping at each building.

**Rear Setback**

The following setback requirements shall apply to new buildings and parking areas constructed within the Sixth Street corridor after the effective date of this Specific Plan.

- Parking is permitted in the rear setback.

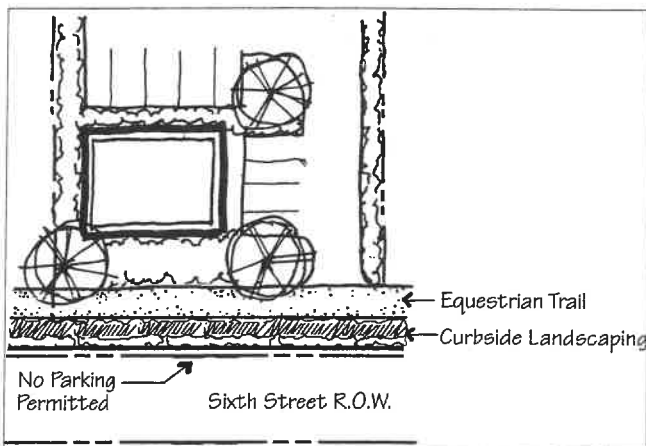


▲ Front setback variations.

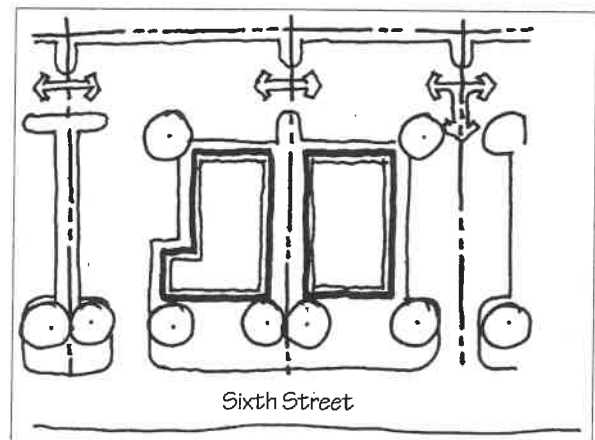
structed along the property line that does not butt-up against another building, the wall along the property line shall be articulated as if it were facing a public street.

- Parking is permitted within the side setback, but no closer to the Sixth Street right-of-way than the front of the building, and no closer than 5 feet to the side of the property line.

- Where parking is provided at the rear of the lot, a vehicular access easement of 12 feet on one side of the building for one way access and 24 feet for two way access must be provided. These access ways may be located in required side yard setbacks.
- With multiple buildings and/or tenants on one lot, shared vehicular access to the rear of the lot is encouraged to minimize the number of curb cuts and on-site circulation.



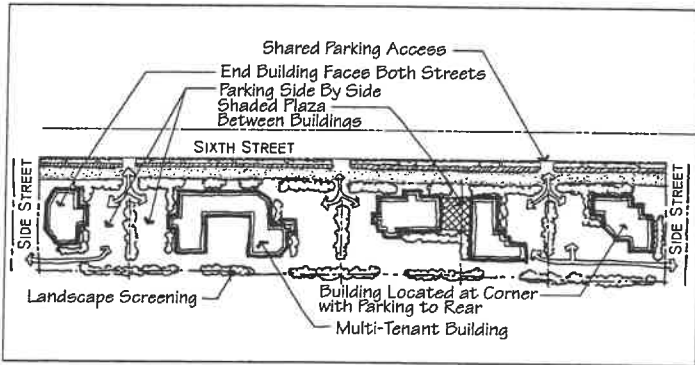
▲ No parking in front.



▲ Shared access and parking.

2.2.4 Building Orientation and Site Use

- Buildings shall be aligned parallel with the front property setback lines.
- Building entrances shall be oriented towards Sixth Street or located at the front corners of buildings, where feasible.



▲ Building, parking, and service area relationships.

- Where appropriate, new buildings should be located nearest existing buildings or adjacent lots, and new parking nearest parking on adjacent lots.
- Multiple buildings and buildings with multiple tenants should be arranged in groups along covered walkways to create a "village setting" that is pedestrian friendly to promote interaction among building occupants and visitors and to provide useable outdoor space.
- Architectural and site features that accommodate equestrians, pedestrians, and outdoor public use are encouraged within front setbacks, along with landscaping.

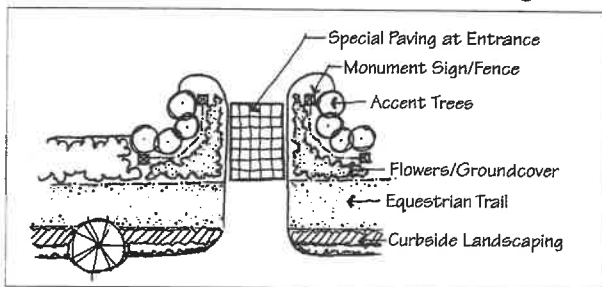
## 3.0 SITE AND ARCHITECTURAL DESIGN

### 3.1 Vehicle Access and Parking

The intent of the following standards and guidelines is to minimize impeding traffic flow along Sixth Street, reduce the visibility of parking, and provide adequate and efficient circulation and parking.

#### 3.1.1 Entrances

- Monumentation, special textured and/or colored paving, flowering and other distinctive plants at vehicle entrances are encouraged.
- Curb cuts shall be limited to one per lot, unless otherwise approved by the City Engineer Streets and Trails Commission. If more than one curb cut along Sixth Street is necessary to provide adequate on-site circulation, curb cuts shall be limited to two.
- Curb cuts, whether located on front or side streets, shall be located 150 feet from street intersections, unless otherwise approved by the City Engineer Streets and Trails Commission.
- Common access points which provide vehicular access to more than one lot are encouraged.



▲ Entrance treatment.

#### 3.1.2 Parking

The amount and dimensions of required parking spaces are defined and illustrated in the Norco Municipal Code Section 18.38. In addition to those requirements, the following shall apply:

- Parking shall be located to the rear of buildings where possible. Separate parking lots for employees to the rear of buildings and lots are encouraged.

- Parking to the sides of buildings is permitted as long as no parking is provided closer to Sixth Street than the building fronts.
- On-site parking shall be designed so that vehicles have access to all parking areas from a single entrance.
- Shared parking is encouraged between adjacent businesses that operate at different hours to minimize the number of parking spaces.



▲ Unattractive parking in front setback.

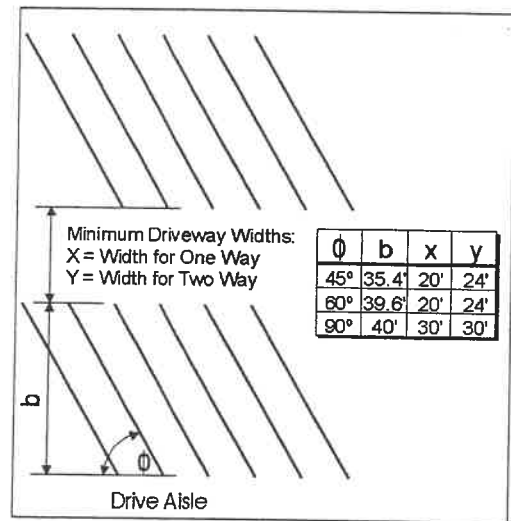
- Parking shall be separated from landscaped areas with a continuous curb not less than 6 inches in height. In addition, all parking spaces adjacent to landscaped areas shall have concrete wheel stops to minimize damage to plants.

It is recognized one of the greatest challenges in developing small, narrow lots (such as those which exist along much of Sixth Street) for commercial use is to meeting code requirements for on-site parking. In order to facilitate revitalization of the Sixth Street corridor, development of common parking areas by Sixth Street landowners and businesses is encouraged. These common parking areas could also be used for equestrian staging during large events along Sixth Street. Thus, the following provisions shall apply to new and existing development within the Sixth Street corridor.

- The parking standards contained in Section 18.38 of the Municipal Code may be waived or reduced by the Planning Commission if an offsite municipal parking lot is available within 660 feet of the boundary of the subject prop-

erty, as measured in a straight line between the property lines of the off-site municipal parking lot and the property lines of the property in question.

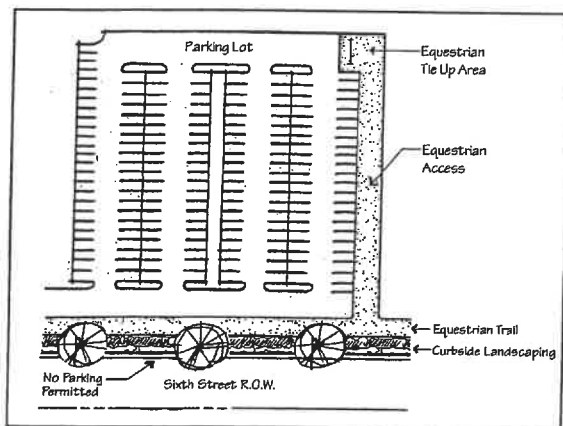
- In waiving or reducing on-site parking standards, the Planning Commission shall ensure that adequate parking is available to accommodate the parking demands of the subject property, and that adequate provisions have been made to ensure that off-site parking spaces will be available and maintained on a permanent basis (e.g., establishment of a parking district, CC&Rs, etc.).
- Where a reduction in on-site parking requirements has been granted due to the provision of a common parking area, a pedestrian connection between the site and the common parking area shall be maintained outside of the public right-of-way.
- The Director of Community Development shall maintain a record of the allocation of parking spaces within each municipal approved off-site parking lot(s) to individual uses within the Sixth Street corridor.
- Common parking lots intended for permanent use are to be paved and striped per City standards, with the exception that "pull-through" (vehicle and trailer) parking spaces be provided. Such spaces are designed so as to permit a vehicle and trailer to pull forward into and out of parking spaces, as illustrated below.



▲ "Pull-through" parking diagram.

- In addition, unimproved parcels can be used for temporary parking. Such lots may be privately maintained or leased by the City. Decomposed granite, gravel or concrete pavers that allow grass to grow in between the openings are preferred for these temporary parking lots. Ample room should be provided to accommodate vehicles with horse trailers, including provision of "pull through" parking spaces. These parcels should be illustrated on maps incorporated into the gateway kiosks and made available to the visiting public.

On-site parking requirements may also be reduced through the use of shared parking between adjacent properties using the provisions of Section 18.38.18 (Combined or Common Parking Areas) of 18.38.18 (Shared Parking) of the Norco Zoning Code.



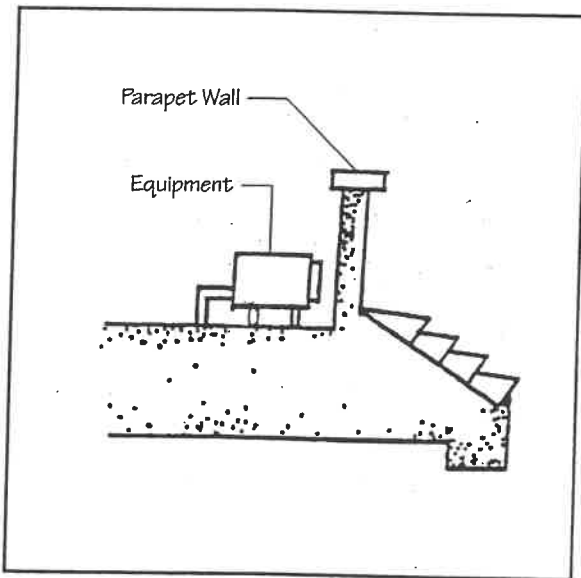
- Common parking areas shall provide a temporary tie-up areas for horses at the back of the parking lot (see illustration).

### 3.2 Screening

The intent of this section is to minimize the visibility of unsightly features and features that are inconsistent with a western character. Specific locations intended to concentrate impacts such as odor and noise are to be placed to the rear of lots, and provided with appropriate screening/buffering to otherwise prevent impacts (e.g., traffic congestion). It is specifically recognized that hay, horse trailers, trucks, and similar items being stored outside will exceed the height of screening, and will be visible from Sixth Street.

3.2.1 Equipment

- The visibility of all utility connections and equipment, communication devices, solar support equipment, gas storage tanks, storage and maintenance equipment, telephone junction boxes and any other ground level equipment shall be minimized by employing at least one of the following techniques:
  - Equipment shall be painted a color as per Section 3.5.3, preferably to match the color of the building if equipment is near the building, or to blend equipment with surrounding landscaping;
  - Equipment shall be enclosed with wood fencing stained or painted as per Sections 3.5.3 and 3.6; or
  - Equipment shall be enclosed with walls, as per Section 3.6.
- Roof mounted equipment shall be fully screened utilizing rooflines, parapets or other similar methods.



▲ Roof equipment screening.

- Satellite dishes and antennas shall be ground mounted unless technically infeasible. All ground-mounted satellite dishes, antennas and other ground equipment shall be screened as per above.
- Transformers shall be located away from public view; where this is not possible, they shall be

treated using techniques described above for equipment.

- Propane tanks shall be enclosed with a fence or wall as described above.

3.2.2 Loading and Service Areas

The following provisions shall apply to new development within the Sixth Street corridor.

- Loading docks and service areas shall be located to the interior side or rear of buildings, away from building entrances and streets.
- Where loading docks and service areas are visible from the Sixth Street right-of-way, they shall be screened with fences or walls, or painted or stained to match building colors, as per Sections 3.5.3 and 3.6.
- Loading docks shall be entirely on site. Off-site vehicle loading/unloading shall not be permitted (i.e., in the Sixth Street right-of-way).
- All loading and service areas shall be located where service vehicles will not disrupt traffic flow to or from the site.

In cases where the existence of small narrow lots prevent the location of loading and service areas to the rear of side of a parcel, loading areas shall be screened from view from Sixth Street to the extent feasible, provided, however, that loading areas for hay deliveries need not be screened.

3.2.3 Refuse Collection

The following shall apply to all new commercial development, and to existing commercial development where feasible.

- A special refuse collection area shall be provided for each building at a location and of such a size as approved during site plan review.
- Refuse collection areas shall, where adequate room is available for maneuvering, be located to the interior sides or rear of buildings where they are conveniently accessible for trash collection and maintenance, but not noticeably visible from Sixth Street. Where adequate maneuvering room can not be made available to locate the refuse collection area to the side or rear of the parcel, appropriate screening shall be provided.



▲ Outdoor seating.

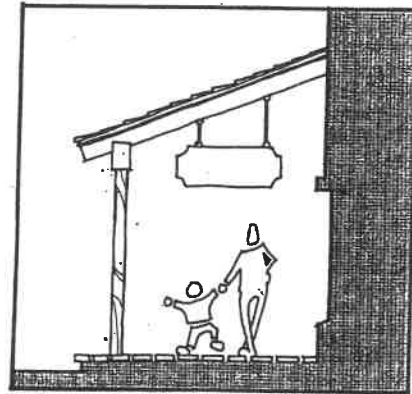
- Refuse collection areas shall be completely enclosed to prevent the attraction of flies, unless the trash receptacle is a closed dumpster which has a volume of two (2) cubic yards or more.
- Other than trash cans located for the convenience of visitors, refuse storage and disposal areas shall be screened from view from adjacent streets.
- Enclosures should be accentuated with low-growing shrubs, climbing vines, and flowering trees.

### 3.3 On-Site Pedestrian and Equestrian Improvements

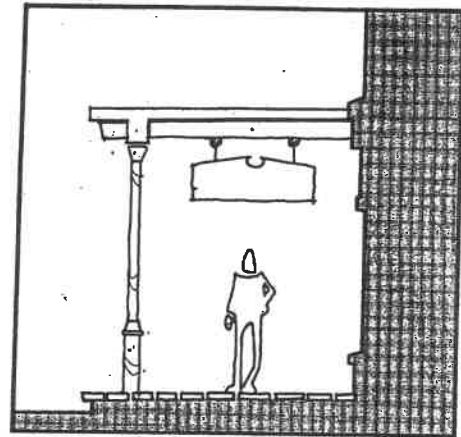
The intent of the following standards and guidelines is to encourage pedestrian movement ~~between businesses in~~ within and between parcels along the Sixth Street corridor, provide for equestrian access to businesses, and ensure the safety of both pedestrians and equestrians.

- ~~Where feasible, buildings shall be connected to the Sixth Street right-of-way by a pedestrian walk at least 4 feet in width. Such walk may run adjacent to the main entry or at another convenient location within the site. Unless the pedestrian walk is located adjacent to a drive entry, paving shall not be placed within the equestrian trail where pedestrian are to cross it.~~
- Covered porches shall be provided along the fronts of all buildings at a minimum width of 6 feet. These may be constructed within the front building setback.

- Buildings located on corner lots shall incorporate a covered porch along both street elevations.



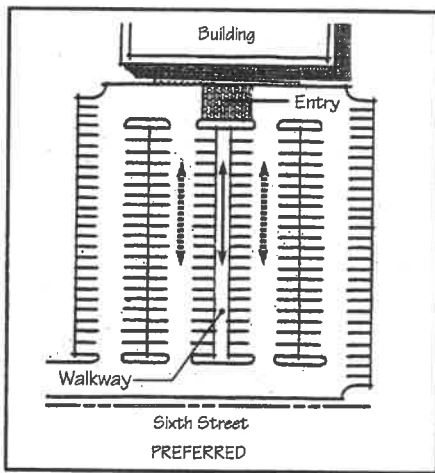
▲ Sloped roofed porch.



▲ Flat roofed porch.

- Places for people to sit, socialize, and dine are encouraged at the fronts, front corners, and sides of buildings through an extension of roof overhangs and covered roofs. Suggested features for these outdoor areas include benches or tables and chairs, and wood trash receptacles.
- Equestrian amenities, such as hitching posts, water troughs, and feed bins are encouraged within front setback areas, along with ground landscaping and shade trees. The provision of hitching posts is required for equestrian-oriented businesses where customers are likely to ride horses to the business.
- On-site boardwalks and dedicated pedestrian pathways shall be provided wherever possible between parking areas and buildings to separate pedestrian and vehicular circulation routes.

- On-site pedestrian connections between businesses are encouraged. When a reduction in parking requirements is sought pursuant to the provisions of this Specific Plan, a minimum 4-foot wide pedestrian connection shall be provided between the parcel seeking the parking reduction and the off-site parking lot.
- On-site pedestrian walkways within a project site shall be marked with special striping on asphalt, or with contrasting materials such as colored concrete pavers, stamped concrete simulating wood planking, and in-laid railroad ties.



▲ Orientation of parking for pedestrian access.

- Where feasible, parking areas shall be designed so that pedestrians walk along, and not across, parking aisles.
- ~~In-laid railroad ties, pressure-treated wood planks, or stamped concrete shall be used; where feasible, across private drives where the Sixth Street right-of-way pedestrian and equestrian trails cross.~~

### 3.4 Landscaping

The primary objectives of the landscaping standards and guidelines are to create a unified and attractive streetscape, ~~give a more pedestrian scale to the street~~, provide shade, help screen unsightly features, and reduce the visual dominance of building walls, screening walls and fences.

#### 3.4.1 Sixth Street Right-Of-Way

- Although the City may elect to landscape the area between the curb and the eques-

trian trail within the Sixth Street right-of-way, it is ultimately the adjacent property owner's responsibility to do so.

- Plants shall be selected from the City's plant palette in Section 3.4.5. Low growing shrubs and ground covers, including perennial flowers, are recommended.
- Plants shall be spaced to achieve 100 percent coverage within 5 years.

#### 3.4.2 Setbacks

- ~~A minimum of 10 percent of non-residential development sites shall be devoted to landscaping.~~
- All parking, front and side setbacks shall be landscaped, where not occupied by boardwalks, porches, or parking spaces.



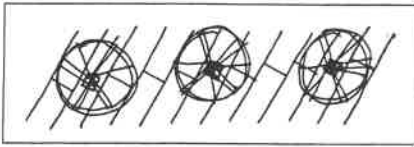
▲ Landscaping at curb.

- Front setbacks shall be landscaped with plants selected from the City's plant palette in Section 3.4.5. Shrubs are recommended along with shade or accent trees.
- Where side setbacks are highly visible from Sixth Street, plants shall be selected using the City's plant palette.
- Rear and side setbacks not visible from Sixth Street may be landscaped with plants of the property owner's choice; however, the use of drought tolerant species is recommended.

#### 3.4.3 Parking Lots

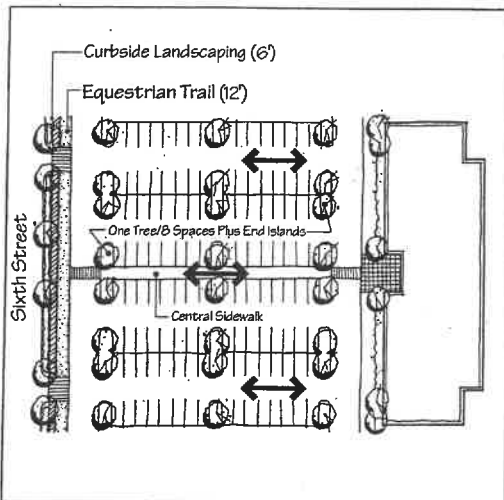
- Parking lots adjacent to Sixth Street shall be screened from view with shrubs that will grow to 2 to 3 feet in height within a five-year period.

- The A minimum 5-foot strip between parking lots and side property lines shall be planted with low-growing shrubs.



▲ Landscape islands.

- For parking lots with 30 or more parking spaces, landscaped islands with a minimum width of 4 feet shall be installed between rows of parking. One tree per eight parking spaces shall be planted on the islands and other ground covers and shrubs shall be spaced to achieve 100 percent ground cover within five years of planting.



▲ Parking lot landscaping.

- Plants shall be selected from the City's plant palette per Section 3.4.5.
- In addition to landscaping, low walls may be built per Section 3.6 to help screen parked vehicles.
- Earth berms are not recommended for screening.
- Hardscape materials, such as river rock, may be used as accents within landscaped areas to keep required maintenance to a minimum.

3.4.4 Plant Selection

- Plants other than those selected from the City's plant palette and the plants identified below may be approved by the City. Such additional plants should be drought tolerant, fire resistant, long-lived, and low maintenance.

- Flowering annuals should be planted only in special locations, such as building entrances and driveways.
- Turf shall be confined to front setbacks, and is not recommended as a landscape material.
- Planting beds should be covered with 2 inches of mulch to help retain ground moisture and discourage weed growth.

3.4.5 Plant Palette

The following list of plants may be used in the Sixth Street right-of-way, front and side setbacks, and parking lots visible from Sixth Street.

TREES

Street Trees

- Ainus Rhombifolia/White alder
- Fraxinus vetulina 'Modesto'/Modesto ash
- Liquidambar styraciflua 'Palo Alto'/Palo Alto sweetgum
- Platanus acerifolia 'Bloodgood'/Bloodgood planetree
- Populus fremontii Nevada/Nevada cottonwood
- Celtis sinensis/Chinese hackberry

Median Trees

- Lagerstroemia indica/Crepe Myrtle
- Pyrus calleryana/Flowering Pear
- Cercis occidentalis/Western Redbud
- Malus/Purple wave apple

Setback/Yard Trees

- Arbutus menzesii/Madrone
- Cercidium floridium/Blue Palo Verde
- Pinus canariensis/Canary Island Pine
- Quercus douglasii/Blue Oak
- Quercus kelloggii/California Black Oak

VINES

For screening and accent

- Clytostoma callistegioides/Purple Trumpet Vine
- Distictus buccinatoria/Blood-red trumpet vine
- Macfadyena unguis-cati/Cat's claw
- Plumbago auriculata/Cape plumbago
- Wisteria sinensis/Wisteria

SHRUBS

Medium and Large Spreading Shrubs

- Ceanothus spp.
- Cercis occidentalis/Western redbud
- Cistus purpureus/Rockrose
- Encelia spp.
- Leucophyllum fruitsecens/Texas ranger
- Photinia fraseri/Photinia
- Pittosporum undulatum/Victoria's Box
- Plumbago auriculata/Cape plumbago

Small Shrubs, Groundcovers and Flowers

- Campanula portenschlagiana/Dalmatian bell flower
- Erigeron karvinskianus/Fleabane
- Eschsholzia californica/California poppy
- Lobularia maritima



Oenothera berlandierii/Evening primrose  
 Pennisetum alopecuroides/Fountain grass  
 Penstemon heterophyllus/Beard's tongue  
 Romneya coulteri/Matilija Poppy  
 Rosmarinus officinalis/Rosemary  
 Salvia leucantha/Mexican sage  
 Salvia leucophylla/Purple sage  
 Santolina virens/Santolin  
 Santolina chamaecyparissus/Lavender Cotton

**3.4.6 Irrigation and Maintenance**

- All landscaping within the Sixth Street right-of-way, front and side setback areas, and parking lots shall be irrigated with a permanent irrigation system that shall be installed and maintained in an operable condition at all times per City standards.
- Landscape maintenance shall include, but not be limited to, pruning, weeding, fertilizing, removal of litter, regular watering, replacement of landscaping when it has become incurably unhealthy or has died, and any other activities necessary to maintain landscaped areas in a clean, neat and healthy condition.

**3.5 Architectural Design**

Building exteriors are the most visually dominant elements of a streetscape and hence are the features that are the most influential in creating a distinctive western identity for the Sixth Street corridor. The architectural standards and guidelines are intended to:

- Preserve the Sixth Street corridor's heritage;
- Visually distinguish the Sixth Street corridor with a western character;
- Establish continuity of design along the street; and
- Promote economic revitalization.

Architectural and building design qualities that best reflect the desired western theme can be described as rural, informal, traditional, rustic, low profile and equestrian/pedestrian oriented. Conversely, qualities that are inconsistent with the western theme are urban, formal, contemporary, sophisticated, massive, and automobile oriented.



▲ Buildings with western features.

Design elements that are highly encouraged to promote a western appearance in the Sixth Street corridor include: natural materials, especially wood; rough textures; earthtone colors; traditional western roofs; vertical siding; small building mass; and simple decorative elements on walls and roofs indicative of towns in the Old West. Building colors that convey a western character reflect wood, earth and stone colors.



▲ Two-story building.

Design elements to be avoided or otherwise minimized include: large, blank walls; highly polished, reflective and finished surfaces; massive, boxy buildings; the appearance of large, paneless windows; unarticulated building facades; and large, unvaried roofs.

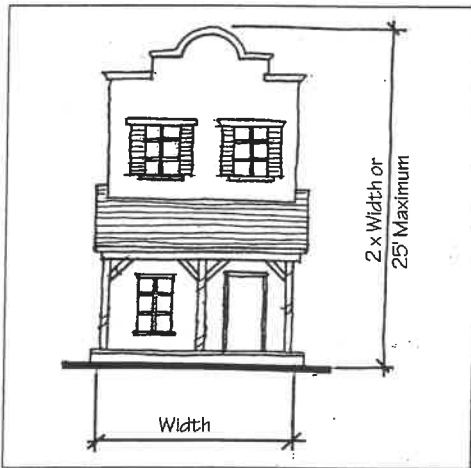
Chain link fencing, metal signs, utility boxes and other modern site features not associated with western design are also not appropriate and should not be visually prominent.



▲ Inappropriate chain link fence.

3.5.1 Building Forms and Massing

- Building height shall be limited to twice the building width, or 25 feet, whichever is smaller.
- The basic building form shall be square or rectilinear, accentuated with a covered porch or walk.



▲ Building proportions.

- Large buildings should be divided into smaller, distinct masses by horizontally staggering walls, changing the roof line, inserting windows and doors, and applying wood siding in different directions.
- Flat silhouettes should be avoided. Buildings and building complexes should be of variable heights to add visual interest.
- Right angles shall predominate over curved walls or arches.

- Massing, window patterns, support posts and roof forms shall be symmetrical or symmetrically spaced.



▲ Elevation of western buildings.

- Openings in walls shall not exceed 40 percent of any wall surface.
- Expression of floor levels in structure and ornamentation is encouraged through the use of such features as second floor balconies, upper level windows and exterior staircases.

3.5.2 Materials

Permitted Materials

- Uniform materials and consistent style shall be reflected on all exterior elevations.
- The primary exterior material of a building shall appear to be wood siding or adobe. Plaster, river rock, flag stone, wrought iron, and brick may be used for architectural accent material only. Where materials other than wood are used to simulate the look of wood, they shall be of a high quality, and constructed such that architectural detailing also simulates the look of wood.



▲ Perspective of building front.

- Where wood is utilized in exterior elevations, it shall be pressure treated.
- Roofs shall be constructed of metal, concrete or asphalt tiles that simulate wood shingle. Spanish tile may be utilized where it is compatible with the architecture of the building. Standing seam metal roofs may be used behind a western-themed parapet false front wall, provided that the metal roof is not visible from the front elevation.
- Exterior siding, rafter tails, beams, posts, trim and decking may be constructed of rough sawn lumber.
- The underside of eaves, porches and boardwalks shall be wood planking.
- Exterior paving materials for courtyards, patios, and other outdoor gathering areas may utilize brick, interlocking concrete pavers, quarry tile, fired "mexican" pavers and stone.
- Chimneys shall be constructed of brick, except for wood burning stoves, in which case exposed flues are permitted.

#### *Restricted and Prohibited Materials*

- Highly finished wood shall be restricted to ornament and areas subject to human contact such as railings, unless otherwise approved.
- Use of wood lattice shall be limited to small areas.
- The use of metals shall be limited to architectural ornamentation and special features, and shall not have a shiny surface. As noted above, standing seam metal roofs may be used.
- Except where specifically used to simulate the look of wood, the use of vinyl, masonite, aluminum siding are prohibited.
- Porcelain, plastic and other manufactured materials are prohibited, except in fixtures, end caps on railings, and other similar locations.
- Exposed metal columns and metal doors. Prefabricated metal stairs may be permitted, provided they maintain a "wrought iron" appearance.
- Asphalt shall not be permitted for courtyards and patios.

#### *3.5.3 Colors*

##### *Permitted Colors*

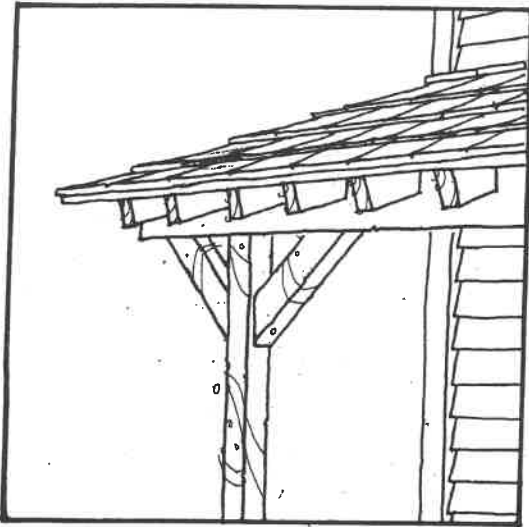
- Stains on unpainted wood shall be used whenever possible. Stains or paints which provide the appearance of weathered wood are acceptable.
- Primary building colors shall be earth tones of hues such as brown, beige, and grey. Accent colors shall also be earthen hues, but may include colors such as sky blue, forest or sage green, barn red, white, black and other colors which complement natural wood and do not detract from the western appearance of the buildings.
- Darker and lighter shades of the same color used on the building walls are encouraged to enhance building ornamentation and trim.
- Exposed gutters, downspouts, flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent roofs or walls to minimize their visibility.

##### *Restricted and Prohibited Colors*

- The use of "barn red" coloring shall be limited to barn-like structures.
- Except for small areas of ornamentation and trim, inappropriate colors include bright primary colors, pinks, oranges and lavenders. The use of more than one accent color shall be discouraged.
- Fluorescent colors are prohibited.

#### *3.5.4 Style Elements*

- Post and beam construction shall be used for front entries and as otherwise feasible. Knee bracing at posts shall be used for balconies and overhangs.
- Wood posts shall be a minimum of 6 by 6 inches.
- Balconies, boardwalks, and covered porches shall have wood railings 30 to 32 inches in height from the decking.



▲ Knee bracing.

- The use of wood ornamentation at building cornices, the tops and bottoms of wood posts, eaves, balconies and building corners is encouraged.
- The use of decorative elements such as weather vanes, windmills, trellis structures and wood ornamentation is encouraged.

### 3.5.5 Facade Detailing

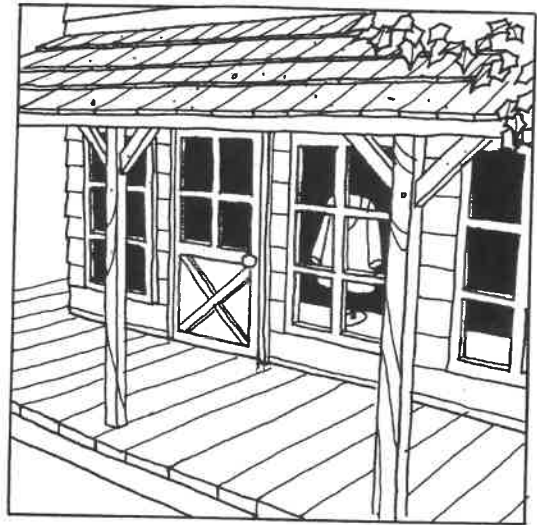
- Plaster is permitted on building walls not visible from Sixth Street, and shall not exceed 40 percent of the building's exterior surfaces.
- Horizontal siding shall be a minimum of 6 inches in width, and shall be one of the following types: horizontal "v" joint; channel joint ship lap with a minimum 3/8 inch channel; or beveled.
- Vertical board and batt siding shall have a minimum 8 inch spacing between 1 by 2-inch bats. Rough-sawn sheets may be utilized.

### 3.5.6 Entries and Doors

- Building entries shall be accented architecturally through color, framing, and roof variations.
- Building entries that are recessed or which project outward with roof overhangs are encouraged.
- Doors with windows shall have the appearance of divided sash, with the appearance of small individual panes (preferably not exceeding 168 square inches, and not more than 13 inches on

a side). The width of rectangular panes shall be shorter than their length.

- Doors shall not exceed 7 feet in height and 3 feet in width. The use of "Dutch" and "saloon" type doors is encouraged.

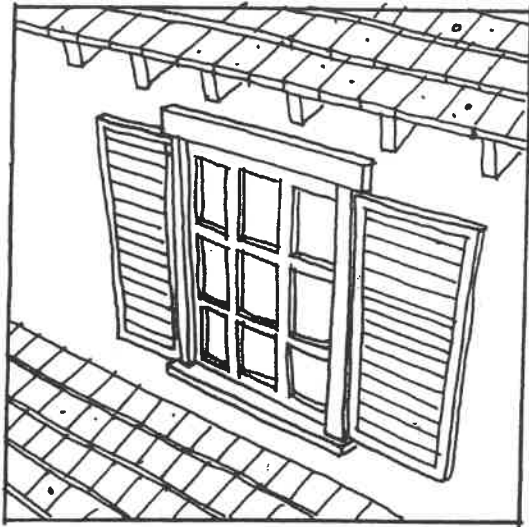


▲ Dutch door.

- Doors shall be constructed of wood or have the appearance of wood construction, unless otherwise approved.
- Doors shall be trimmed with wood. Use of brightly colored and elaborate trim elements and patterns are discouraged.

### 3.5.7 Windows

- Windows shall not exceed 40 percent of any wall surface.
- All building front windows shall be divided sash, unless otherwise approved. Individual panes shall not exceed 18 horizontal inches in any single dimension. Window pane lengths shall be greater than widths.
- If windows other than divided sash are approved, glazing shall be divided by sections of wall or columns, rather than be continuous.
- Window frames shall be wood or wood finish. Metal windows may be utilized only if they are made to have the appearance and proportions of divided wood sash.

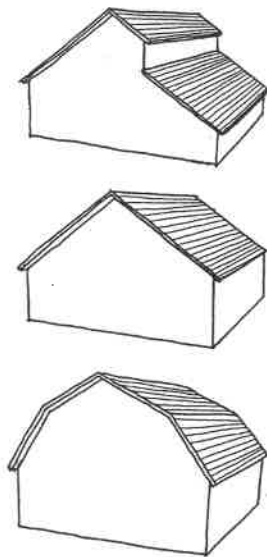


▲ Divided sash window.

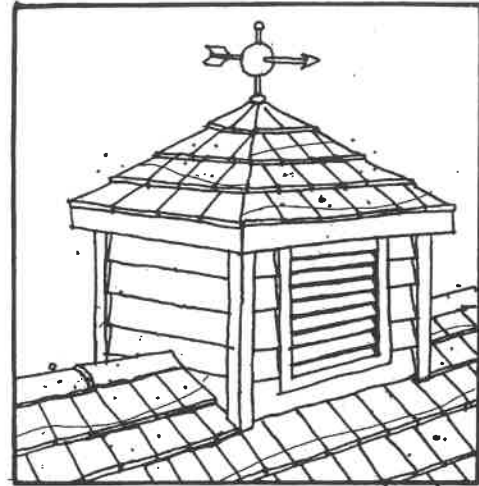
- Window glazing shall consist of transparent glass, lightly tinted glass, lightly reflective solar glass with a reflective factor of 30 percent or less, or stained or etched glass. Highly reflective glass, dark tinted glass, and colored glass are prohibited.
- Window decorations such as shutters and planter boxes are encouraged.
- Awnings are not permitted.

3.5.8 Roofs

- Principal roof forms shall be gable, gambrel, hip or shed.
- Flat roofs are permitted where screened by a decorative parapet (as per Section 3.5.9).
- Roof slopes shall generally be from 3:12 to 6:12 with greater slopes permitted for gambrel roofs, as approved.
- Roof overhangs exceeding 18 inches are not permitted unless part of a covered walk or porch structure.



▲ Roof forms.



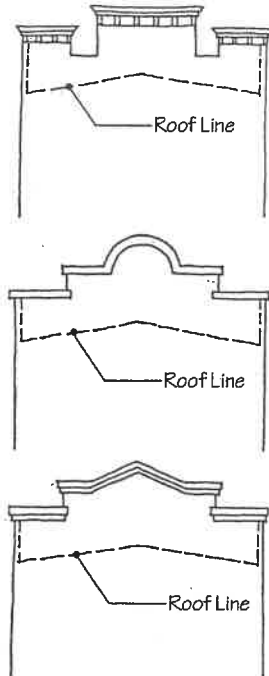
▲ Weathervane.

- The underside of eaves shall utilize exposed rafter tails with a minimum thickness of 2 inches where a fascia board is used, and 4 inches where no fascia is used or where exposed on the underside of a porch or covered walk.
- The use of fascia boards is encouraged.
- Tower elements, chimneys, cupolas, exposed wood beams, roof overhangs and trellises are all acceptable and encouraged roof features.
- Skylights and solar panels are permitted but shall be integral with the roof slope and shall not be visible when viewed from the adjacent Sixth Street right-of-way.
- Aluminum frames for solar panels on roofs are prohibited, unless they are completely hidden from ground level view.

3.5.9 Parapets

- Parapet roofs and varied parapet height for multi-tenant buildings are encouraged.
- Parapets shall completely screen roofs and all roof mounted equipment from view from Sixth Street.
- Parapets shall not be more than 5 feet above the main roofline.
- Parapets shall be finished on all sides except the rear of buildings.

- Parapets shall match the main building in material, color and finish.
- Parapets shall utilize ornamental wood trim or a cornice at the top.



▲ Parapets.

### 3.6 Fences and Walls

- On-site fencing is encouraged to be similar in style to the two-rail fence along the Sixth Street equestrian trail. No on-site fencing should be constructed parallel to the trail fencing which would yield a cluttered appearance.
- No metal fencing (other than wrought iron fencing which is visually compatible with the balance of the site) shall be permitted within the front third of the lot closest to Sixth Street. Metal pipe fencing, which is commonly used around horse pastures, may also be permitted where its application is compatible with the balance of the site.
- Fences shall be stained or painted as per Section 3.5.3. Paint is to be used only on non-permeable surfaces, while permeable surfaces, such as wood, are to be stained.
- Solid free standing walls, rather than wood fencing or rock walls, are not recommended within the front third of the lot. However, if used, they shall have a plaster or stucco earth-tone color finish, and shall be no higher than 3 feet. Walls within the rear two thirds of the lot may be up to 6 feet in height. Property owners are encouraged to plant vines and low growing shrubs in the front of walls facing Sixth Street.
- Gates shall be solid metal or wood painted or stained to match adjacent buildings.



▲ Wood rail fence.

- Property owners are encouraged to bring existing fences into conformance with these standards by changing their designs, colors and/or materials.

### 3.7 Outdoor Lighting

Low level and small scale lighting creates a pedestrian-friendly atmosphere and encourages nighttime activity. Continuous lighting along the right-of-way is needed for convenience and security, and would help achieve greater uniformity and add visual interest to the streetscape. In addition, outdoor lighting should be designed to achieve the following objectives:

- Minimize light pollution and light trespass for the enjoyment and use of property and the night environment;
- Contribute to a pedestrian/equestrian orientation through low-level light standards;
- Reinforce the area's western architectural theme in the design of lighting fixtures and standards; and
- Conserve energy while increasing nighttime visibility, utility, security and productivity.

#### 3.7.1 General

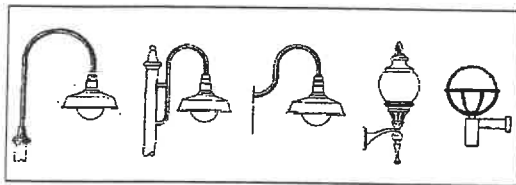
- All proposed new development or renovation per Section 4.1 shall submit a lighting plan to City staff, prior to final project approval, that

addresses the following location and mounting height for outdoor lighting fixtures, as well as lighting intensity and proposed electrical plans.

- All lighting shall be shielded to prevent direct spillover onto adjacent lots and Sixth Street.

**3.7.2 Building Lighting**

- Light fixtures and standards shall be attractively designed in western or more traditional styles.
- The use of exterior accent lighting on buildings and landscaping is encouraged.



▲ Building light fixtures.

- All steps shall be adequately lit.
- Wall-mounted lights shall be consistent with building architecture and the Sixth Street corridor's western theme.
- All wall mounted lighting shall be mounted at a height not to exceed 10 feet.

**3.7.3 Parking Lot Lighting**

- Parking lot lighting is desirable to ensure safety and deter crime.
- For parking lots, an average illumination of one foot candle shall be maintained, with a minimum of one-half foot-candle across the surface of the parking area.
- The height of parking lot light standards shall be 12 feet.

**3.7.4 Outdoor Lighting**

- Light standards, other than those in parking lots, shall be at a height no greater than 12 feet.
- All steps shall be adequately lit.
- Any decorative uplighting used for landscaping or architectural features shall not exceed 150 watts per lamp.

- All outdoor lot lighting used for advertising or outdoor retail areas shall be turned off between 10 p.m. and sunrise. Businesses which remain open after 10 p.m. may keep their lighting on for up to 1-1/2 hours after closing.

**3.8 Signage**

Signs are necessary for conveying information including directions, identification, and warnings. If appropriately designed, signage also has the potential to reinforce the western theme of the Sixth Street corridor. Conversely, poorly chosen locations, excessive sizes and inappropriate lettering may add clutter to the streetscape. Signs should:

- Communicate messages succinctly
- Be visible and legible
- Attract attention while maintaining attractive qualities
- Be appropriate for the function they represent
- Project professional craftsmanship and quality installation
- Look well-maintained, even when done in an old fashioned or informal style
- Be safely mounted, placed, and maintained.

**3.8.1 Allowable Signs**

- Permitted signs include: wall, monument (free-standing, ground-level signs), window and special event signs.
- Prohibited signs include: animated, changeable copy, revolving, flashing, balloon, roof, internally illuminated signs and any other signs deemed by the City to be inappropriate.
- New pole signs, with the exception of community signs identifying the Sixth Street corridor and key commercial tenants, are prohibited.

**3.8.2 Signage Specifications**

**Single Tenant Buildings**

- One wall sign per street frontage is permitted along with one free standing monument sign.

- Minor regulatory and directional signs (not to exceed 3 square feet face area) are permitted as needed.

**Multi-Tenant Buildings**

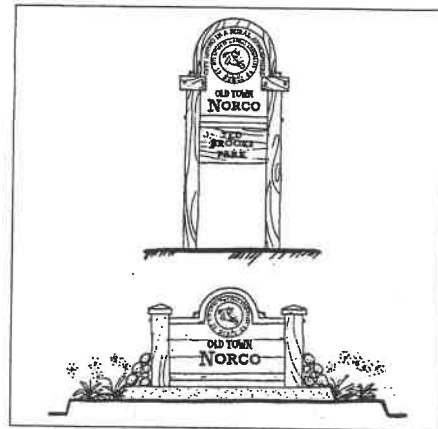
- One major sign to identify a center's name, either freestanding or wall mounted is permitted per street frontage. Street-oriented directory signs are discouraged.
- Only one sign per tenant shall be allowed if the business is visible from Sixth Street; otherwise, the business may also be identified on a monument sign at the front of the lot along with the other businesses in the center.
- Signage plans and details shall be submitted to the City for approval, indicating sign locations, lettering, sizes, heights, and colors. Sign area shall conform to the requirements of the municipal code.

**3.8.3 Location**

- Building signs shall not be located above the bottom of the second floor window sill line, unless the letters are less than 6 inches in height and intended to provide identification to visitors on the premises.
- Second story window signs shall be prohibited except for window signs identifying the business name. Such window signs shall have a gold coloring to simulate gold leaf and shall be designed in an arch pattern.
- Wall signs shall be flatly placed parallel to facades, preferably over building entrances.
- Architectural elements important to the building image shall not be concealed by signage.
- Monument signs shall be located where they are clearly visible to both pedestrians and motorists.
- Monument signs shall not be allowed within 5 feet of the frontage property line nor 15 feet from an interior property line or driveway.
- No signs, other than traffic control signs, shall be placed within the Sixth Street right-of-way.

**3.8.4 Sign Size**

- Building mounted signs shall not exceed 60 percent of the total length of the front building facade.
- Monument signage shall not exceed an area of 32 square feet and a height of 6 feet.
- No window sign shall exceed 20 percent of the window area per each building face.
- Building address identification numbering shall not exceed 8 inches in height and shall be located over the building entrance and/or front facade.



▲ Monument sign.

**3.8.5 Lettering**

- Maximum height of letters for wall mounted signage shall not exceed 18 inches.





- Lettering shall not occupy more than 75 percent of the sign.
- As alternatives to mounted signs, lettering may be painted directly on building facades or pre-cast lettering may be mounted onto walls.
- Lettering styles shall have a western or "old-fashioned" appearance. Appropriate lettering styles include URW Wood Type D, Old Towne 536C, Thunderbird BT, and Shadow Black BT.

**3.8.6 Content**

- All permanent signs shall be used only for business identification; brand name advertising shall not be permitted.
- Signs can depict the businesses or services offered graphically or with words, although graphic designs are preferred if the intended message is clear.
- Window signs with short messages or corporate logos may be used.
- The use of graphics consistent with the nature of the products and/or services sold on the premises is encouraged.

**3.8.7 Colors**

- Signage shall complement building colors, including accent and trim colors.

- All permanent signs shall utilize colors consistent with those described in Section 3.5.3. The maximum number of colors appearing on any sign shall be limited to three, unless otherwise approved.
- Signage colors for multi-tenant buildings shall be coordinated to create complementary color schemes.

**3.8.8 Materials**

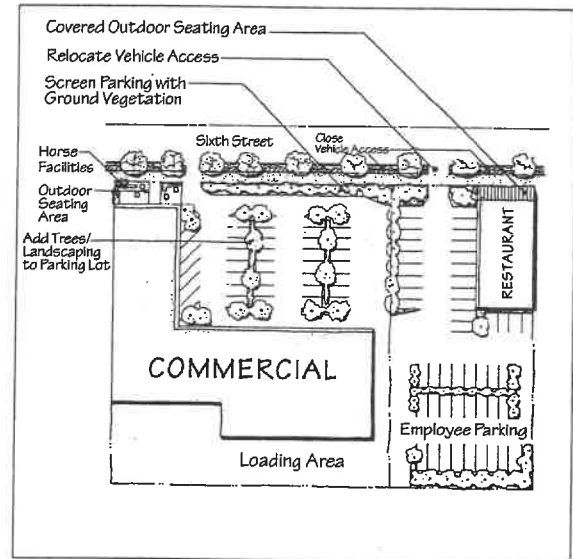
- Wood wall signs can be vertical or horizontal, painted or stained and sealed. Lettering may consist of metal, acrylic or raised wood.
- Metal signs shall not be allowed unless specifically approved.
- Internally illuminated, canned signs may be permitted if they are compatible with building architecture.
- Monument signs may be constructed of pressure treated wood cast in place concrete, river rock, granite, or wrought iron.

## 4.0 RENOVATION

### 4.1 Intent

This section establishes design standards and guidelines for building renovation within the Sixth Street corridor to bring existing building styles and materials into better conformance with the western theme. Existing buildings are exempt from these standards and guidelines if no alterations or improvements are planned. The following guidelines and standards shall apply in the following manner.

- Only to those portions of an existing building which undergo alteration when there is less than 100 square feet of additional building area added, or the modifications do not exceed \$10,000 30 percent or more of the building's value, per the methodology used to determine building values set forth in the Uniform Building Code as adopted by the City of Norco. Exceptions may be granted if the Community Development Director determines that the conformance of the renovated portion would produce a less acceptable appearance than if it does not conform.
- When alteration exceeding 100 square feet or \$10,000 30 percent or more of the building's value, per the methodology used to determine building values set forth in the Uniform Building Code as adopted by the City of Norco occurs to any portion of an existing building, the entire building exterior shall additionally be made to comply with these standards and guidelines of this section, or as stipulated by the Community Development Director.
- When alteration occurs to 30 percent or more of a building's Sixth Street elevation, the building's entire elevation shall be made to comply with the standards of this section.
- "Alteration" as used above shall not include:
  - routine maintenance and repairs within or outside of the building, and
  - improvements made inside the existing building related to an existing use.



▲ Potential site plan improvements.

- "Alteration" as used above shall include:
  - all expansions of an existing building, including the value of improvements on the inside of an existing building ,
  - improvements made inside the existing building for a new, non-residential existing use.

### 4.2 Setbacks

- Existing buildings must conform with setback requirements per Section 2.2.3, unless otherwise approved.
- Parking must comply with Sections 3.1.2, unless otherwise approved.

### 4.3 Landscaping

- Landscaping must comply with Section 3.4. Potential improvements that could be made for two existing, adjacent properties are illustrated in the figure.

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**4.4 Architectural Elements**

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- Buildings shall be renovated with covered porches as set forth in Section 3.3.
- All colors and materials used for building renovation shall conform with Sections 3.5.2 and 3.5.3

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**4.5 Entries and Windows**

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- Existing doors shall be painted or stained in conformance with the colors listed in Section 3.5.3.
- Non-conforming metal doors shall be replaced with wood or wood and glass doors as per Section 3.5.6.
- All new windows, replacement windows, or those in renovated facades shall conform with Section 3.5.7.

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**4.6 Parapets and Roof Lines**

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- Compliance with the roof standards of Section 3.5.8 shall be required unless exempted by the Community Development Director, based on structural and financial considerations.

- Non-conforming roof alternatives may include the addition of a vertical parapet or parapet roof that screens the existing roof, or the addition of a covered porch or boardwalk.
- Roof renovation or repair shall comply with roofing materials in Section 3.5.2.
- Potential building and signage modifications are shown in the following images of existing and simulated appearances.

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**4.7 Signage**

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Signage shall come into conformance with Section 3.8 when:

- Any alteration occurs to existing signage or to the buildings, as set forth in Section 4.1;
- 30 percent or more of an existing sign requires replacement at one time; or
- Tenant signs are replaced to accommodate new tenants.

Sign details shall be submitted for approval prior to any alteration of existing signage or installation of new signage.

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**Potential Redesign of Existing Structures**

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▲ Existing structure.



▲ Potential alternative design.



▲ *Existing structure.*



▲ *Potential alternative design.*



▲ *Existing structure.*



▲ *Potential alternative design.*



▲ *Existing structure.*



▲ *Potential alternative design.*

5.0 SIXTH STREET RIGHT-OF-WAY

Objectives for improving the Sixth Street right-of-way (ROW) lie in increasing uniformity compatibility and decreasing visual clutter. The City can implement a number of actions in the right-of-way that will significantly improve the overall streetscape appearance. These are addressed in applicable sections below.

It is the responsibility of the developers of properties within the Sixth Street corridor to provide the following right-of-way improvements:

- Landscaping within the 36-foot strip between the street curb and equestrian path
- Pedestrian pathway
- Trail fencing.

In order to complete improvements to an entire block at a single time, the City or Redevelopment Agency may, however, elect to provide these improvements. Coordination with the adjoining property owners and incentives for cooperation may be necessary to achieve some of the goals and objectives of the Specific Plan, including the establishment of gateways.

5.1 Gateways

The western and primary gateway to the Sixth Street corridor is at the intersection of Sixth Street and Sierra Avenue. However, for those arriving from the north via I-15, the first image is really the back of the building housing the Country Junction restaurant and its parking lot. These are located on the south side of Sixth Street to the west (right) of the off-ramp. Efforts to enhance the western image of the Sixth Street corridor should include painting an equestrian-themed mural on the back of this building, along with landscaping to help screen the parking. In addition, a freeway-oriented pole sign identifies the Arco service station along Sixth Street at Hamner Avenue.

For those arriving from the south on I-15, the imagery is more attractive, although it is not western because of the visibility of the Chevron Station, the McDonalds sign, and palm trees. Appropriate



▲ County Junction Restaurant.

development of the vacant parcel east of the off-ramp on the southwest corner of Sixth Street and Sierra Avenue will significantly influence the visual impressions of travelers coming off the freeway. Therefore, it is especially critical that this site is developed according to the standards and guidelines in this Specific Plan. In addition, it would be beneficial to preserve some open space or ensure adequate landscaping along the western side of the parcel. If it is financially feasible, an equestrian related use on this parcel would be ideal.

Both the Jack-in-the-Box and Arco Station have made commendable efforts to incorporate western design into their buildings and site features. No such effort is apparent at the Chevron station on the northwest corner of the intersection. A simple re-design of the south and east facing facades of the Chevron building would substantially improve its image.



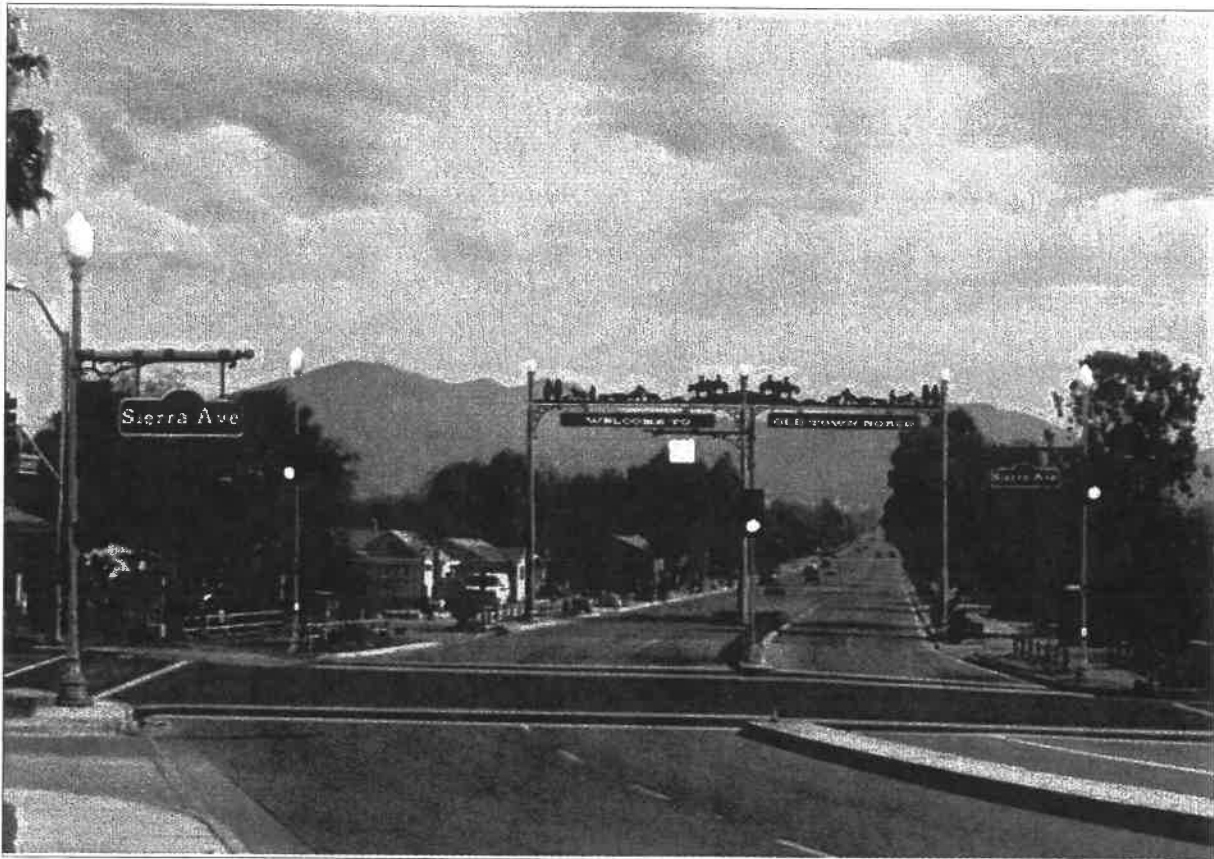
▲ Jack in the Box/Old Town Norco sign.

~~On the northeast corner of Sierra Avenue and Sixth Street, the height and size of the Old Town Norco/Jack-in-the-Box sign is visually dominating and out of scale with the adjacent building and the street. In addition, the western character of the sign is not visible from the freeway at night. In addition to this sign, two other freeway-oriented pole signs are located at the I-15/Sixth Street interchange: one for Chevron and McDonald's, and another for the Arco on the west side of I-15. It is recommended that the three existing freeway-oriented pole signs be consolidated into a single, community sign for Old Town Norco which provides identity to all three uses. Ongoing maintenance of light on the Jack-in-the-Box sign is needed while it remains at this location.~~

~~In contrast,~~ The Old Town Norco sign in front of Arco on the southeast corner of Sierra Avenue and Sixth Street is almost unnoticeable, partly because of its low profile, and partly because it must compete with a variety of signs around and behind it. Removal of this sign in favor of a more visible monument sign for Sixth Street is recom-

~~mended. Planting a few low growing trees at the southwest corner of Sierra Avenue and Sixth Street to help screen some of the station from view should also be considered. The preferable solution is to provide a new western-themed design feature, such as a small water tank or windmill within the existing median at Sierra Avenue, and combine that feature with Sixth Street/Old Town Norco signage.~~

~~In addition,~~ It is recommended that entrances into "Old Town Norco" ~~could~~ be identified with a sign built into an overhead structure that spans the roadway at the east end of the median east of Sierra Avenue and at California Avenue (see above). ~~One~~ The recommended design possibility is a structural design common to the road entrances into ranches throughout the west. Similar, but smaller structures ~~should also~~ are recommended to be placed at the intersections of Sixth Street with Corona and Hillside avenues to provide visual continuity along the roadway, as well as to provide opportunities for community event banners.



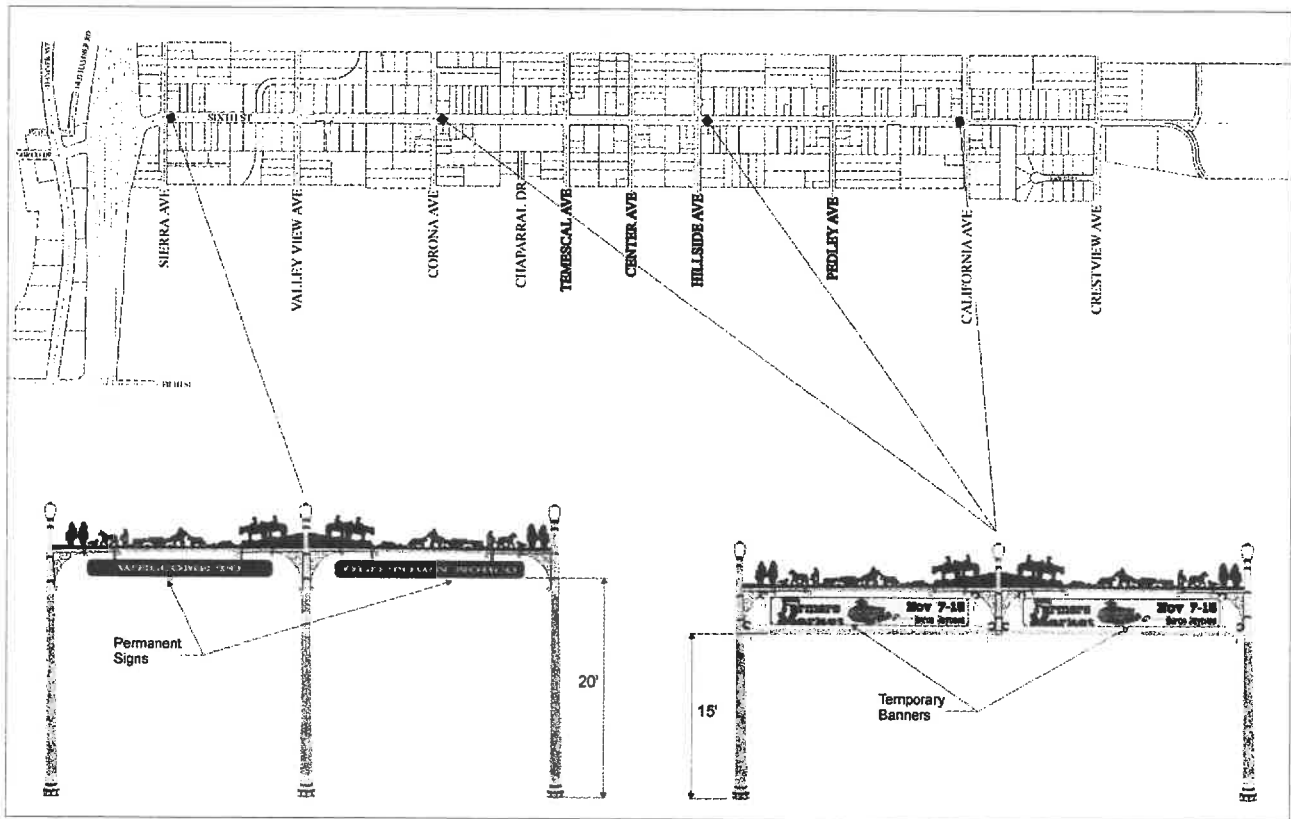
▲ *Potential use of overhead structure. Use of traditional light standards with western-themed street signs.*

The intersection of Sixth Street and California Avenue is a logical eastern gateway to the Sixth Street corridor because commercial development begins here and extends west. In addition, California Avenue is the eastern boundary of commercial development along Sixth Street. An exemplary attempt was made to create a western style commercial center on the northwest corner. This building could be improved by continuing the western facade around to the south side on Sixth Street, redesigning the liquor store sign, and painting the center in an earth tone color, rather than the current pink color of the buildings. The front portion of the parcel on the southwest corner currently has scattered dwelling units, but is largely undeveloped, providing an opportunity for a carefully designed building with an equestrian-related business. With close linkages to Ingalls Park and regional equestrian trails along the Santa Ana River, this would be a good location for a staging area with parking for horse trailers, hitching posts, water troughs, feed bins, a small corral, and a public restroom. The lot would also be suitable for a commercial riding stable or equestrian staging area. As suggested in the Vision Plan, information kiosks gateway

could assist visitors to identify places of particular interest, including special event and public parking. Such kiosks should be designed with a western motif, possibly with old farm structures such as windmills, water troughs, and wagons, or equestrian themed sculpture (which could replace the proposed overhead structure at California Avenue and serve as an entry to Ingalls Park). Western-themed street light standards could also be used to display community event banners.

### 5.2 Landscaped Median

It is recommended that the City install a segmented, landscaped median at selected intersections to help reduce traffic speed, improve the attractiveness and uniformity of the streetscape, achieve a more rural scale by bringing the eye-sight of the driver down lower to the roadway and along only two lanes of traffic, and provide shade. The existing left-hand turning lane in the middle of the four lanes of traffic provides the opportunity for constructing a median without having to alter the configuration of the roadway itself.



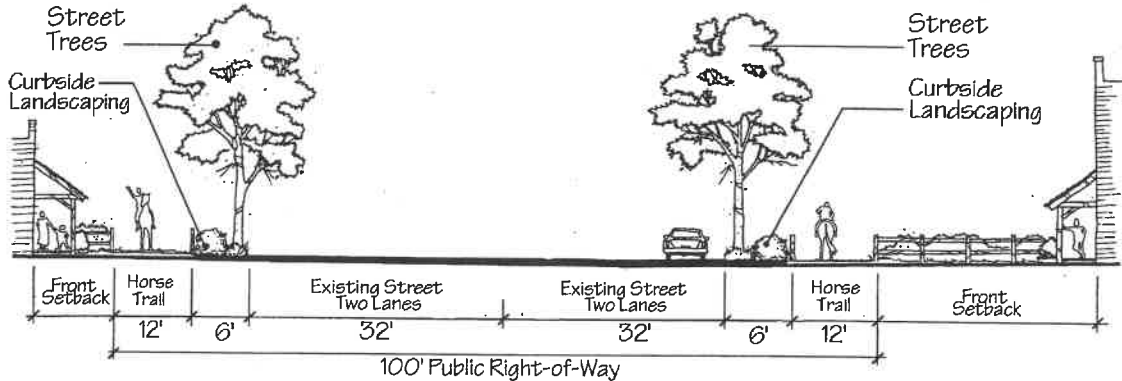
▲ Gateway locations at the Sixth Street corridor.

The median is proposed to be installed at the intersections of Sixth Street with:

- Sierra Avenue (east side only);
- Valley View Avenue (west side only);
- Temescal Avenue;
- Center Avenue;
- Hillside Avenue;
- Pedley Avenue; and
- California Avenue (west side only).

be brittle and catch fire easily. Substances found in leaf and bark litter in certain species of eucalyptus can also inhibit understory plant growth.

It is recommended that existing eucalyptus trees be replaced over time with different species over time along both sides of the street at the edge of the equestrian path. Thus, as long as they remain healthy, existing eucalyptus trees will be retained; however, should they become diseased or need to



▲ Proposed right-of-way improvements.

The median is to be located only at intersections. The existing two-way left lane would be retained at mid-block to provide access to existing and future businesses, to minimize impairing the movement of large trucks and vehicles with horse trailers from some of the businesses along the street, and to better accommodate parades. This arrangement will maximize access to individual uses within the Sixth Street corridor, ensure adequate access to uses which require deliveries by, or involve the use of trucks, reduce the number of conflicting turning movements near intersections, and still provide desired visual relief along the corridor.

### 5.32 Street Trees and Landscaping

Street trees are located intermittently along Sixth Street. The fewest number of trees occurs between Sierra and Temescal avenues (only eight exist on the block between Corona and Temescal avenues). On some blocks, one side of the street has more street trees than the other side, and few trees occur across the street from one another. The trees that currently exist along the street are eucalyptus, which have tall trunks with foliage concentrated at the top, which is not highly visible to pedestrians or autos traveling along Sixth Street. Eucalyptus can

be removed for other reasons, eucalyptus trees are to be replaced with other, more compatible species. Ideally, new trees should be planted along an entire block, on both sides of the street at one time, and interspersed with the existing eucalyptus trees which would be removed at such time as the new trees fill in the streetscape. However, the location of existing eucalyptus trees prevents construction of a pedestrian path in many locations and, as previously noted, although the City or redevelopment agency may elect to provide improved landscaping within the right-of-way if funds are available, the responsibility for such landscaping is that of the developers of property along Sixth Street. Thus, eucalyptus trees will be replaced when the pedestrian path is constructed.

Median trees should vary from those planted to either side of the street, and should be no smaller than 24-inch box plants. Recommended trees and other plants for the median and right-of-way are indicated in the plant palette listed in Section 3.4.5. The plant list includes tree species that are generally more indigenous to California, drought tolerant, fire resistant, and lower growing. Priorities for improvements are provided in Section 7.0 of this Specific Plan.



Irrigation systems installed in the median and right-of-way shall follow City standards. Alternatively, the City could avoid the installation of an irrigation system if water could be provided for at least the first year to get plants started, and as needed during periods of drought.

### 5.43 Equestrian Trails

The existing equestrian trails on each side of the street are currently the most unifying elements along the street; however, the trails lack definition in most locations, especially where there is no fencing on one or both sides. The existing two-rail wood fence has been installed only intermittently along the length of the street, and generally only along the street side of the trail.



▲ Fencing on both sides of horse/pedestrian paths.

The City should complete the wood fencing program to promote the desired western and equestrian appearance of the street, help ensure the safety of horseback riders and horses, and separate equestrian use from adjacent uses. Fencing should be constructed on both sides of the equestrian path, with breaks only at street and driveway crossings, and where access to adjacent lots is desirable. The existing two-rail fence design should be maintained along property lines, and a three-rail fence should be constructed adjacent to the pedestrian walkway.

### 5.5 Pedestrian Walks

The lack of a hard surface path for pedestrians forces them out into the street where traffic moves at approximately 45 miles per hour. This condition is both hazardous and inconvenient, and is not

conducive to pedestrian movement between businesses along the street.

The Sixth Street right-of-way should accommodate both pedestrians and equestrians by providing continuous walks, no less than 4 feet in width in addition to the equestrian trail. These pedestrian walks would be located between a 3-foot planting strip adjacent to curb and the equestrian trail, where they can connect directly to walkways to building entrances on adjacent lots. The walks could be constructed of colored, stamped concrete, resembling boards, or an actual boardwalk could be constructed with pressure treated wood planks raised slightly off the ground on concrete footings. The walk must be designed to meet ADA regulations for the physically challenged in wheelchairs.

### 5.64 Street and Driveway Crossings

Crosswalk striping occurs at only some of the intersections along Sixth Street, primarily those at the western end of the street. To encourage street crossings, assist in slowing vehicular traffic, and add interest and uniformity to the streetscape, distinguishing intersection design and crosswalks should be incorporated into all intersections. Because of the special needs of horses at street crossings, it is important that crosswalk materials not be of a slippery material. To provide distinctiveness to intersections, slow down traffic, and provide safe crossings, it is, therefore, recommended that the portions of the intersection within the four crosswalks be constructed of colored stamped concrete, and that crosswalks be defined with 6-inch concrete ribbons (actual street crossings will be asphalt).

The horse path is crossed by driveways of various materials including asphalt, concrete, gravel, and soil. It would be desirable to continue the trail across the driveways with another material, preferably one that is hard enough to accommodate vehicular traffic, but not as hard as pavement. A sturdy rubberized asphalt is recommended.

Because some blocks along Sixth Street are unusually long, and because mid-block parking lots are proposed to facilitate development of existing small lots, the City will consider the installation of mid-block pedestrian crosswalks. These crosswalks would be located and designed so as to facilitate access to mid-block, permanent parking lots from across Sixth Street. Where

provided, mid-block crossings will be signalized to ensure pedestrian safety. In addition, such crossings are to be marked with an overhead structure similar to that suggested for the corridor gateways to make the crossings more visible, and to provide additional opportunities for community banners. Mid-block pedestrian crossings shall only be installed where they can be located a minimum of 400 feet from the nearest signalized intersection:

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### *5.7 Public Parking*

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Parking on Sixth Street is inadequate during those times when special events occur. In addition, it will be difficult for future commercial uses to develop the smaller parcels within the corridor if they are required to provide all of their required parking on site. Therefore, the City should select mid-block parcels along Sixth Street that should be improved to provide public parking. Ideally, all parcels along Sixth Street, but particularly small parcel with limited frontage, would be located within 600 feet of a municipal parking lot.

Municipal parking lots intended for permanent use are to be paved and striped per City standards, with the exception that "pull-through" (vehicle and trailer) parking spaces be provided. Such spaces are designed so as to permit a vehicle and trailer to pull forward into and out of parking spaces, as illustrated on the following page.

Unimproved parcels can be leased by the City and used for temporary parking. Decomposed granite, gravel or concrete pavers that allow grass to grow in between the openings are preferred for these temporary parking lots. Ample room should be provided to accommodate vehicles with horse trailers, including provision of "pull-through" parking spaces. These parcels should be illustrated on maps incorporated into the gateway kiosks and made available to the visiting public.

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### *5.85 Signage*

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The City should lead the effort in encouraging sign redesign by establishing a signage program for all street signs (directional and informational). This will consist of the establishment of a unique street sign for the Sixth Street corridor (see illustration on page 5-3). In addition, the use of median features such

as wagons, windmills, and water tanks to support signage for community events, as well as the use of overhead structures for community banners will provide distinctiveness to the corridor.

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### *5.96 Lighting*

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Street lights currently exist where traffic signals occur, and a few of the parking lots are lighted. However, long sections of the street are not illuminated, or are poorly illuminated. Continuous low level lighting is needed for convenience and security.

It is recommended that the City install traditional street light standards (an example of which is illustrated on page 5-3) along both sides of Sixth Street from the I-15 freeway to California Avenue in lieu of the more modern lighting placed on "yardarms." Street lighting is not proposed east of California Avenue. These Low level lighting standards should be located approximately every 100 feet, although a greater distance between the standards may be more appropriate for rural lighting. The use of such light standards can also provide opportunities for vertically-mounted banners advertising community events.

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### *5.107 Other Features*

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In front of parcels designated for public parking and in other locations the City deems appropriate, additional facilities should be considered. These may include horse facilities such as hitching posts, wood benches, wood trash receptacles (preferably with hinged openings to provide protection from rain and insects), wood bollards with or without internal low-level lighting, and bus stop shelters.

The light green utility boxes and yellow fire hydrants should all be repainted a dark "barn" red color that will blend them into their surrounding environment. Utility boxes that are located in the landscape strip could also be painted a dark green.

The City should work with local property owners and the post office to install a uniform mail box design along the corridor.

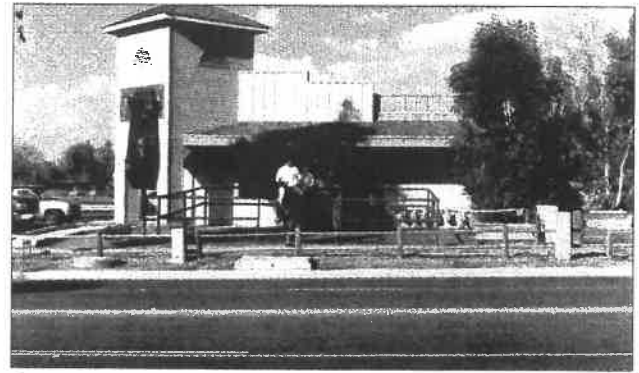
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### *5.118 California Avenue to Ingalls Park*

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Sixth Street from California Avenue to Ingalls Park is currently striped for only two lanes. However, it is

is wide enough to accommodate a third lane, without acquisition of additional right-of-way, that could serve as a continuous left turn lane and as an overflow lane for traffic moving toward the park prior to special events and for reverse traffic moving away from the park after special events have ended. This can be accomplished through restriping of existing pavement. It is also recommended that the existing equestrian path on the south side of the block be further enhanced with fencing on either side of the trail, and that a pedestrian boardwalk be constructed on the north side of the block.



▲ *Equestrian facilities.*

## 6.0 OPPORTUNITIES FOR IMPROVING PRIVATE PROPERTY

With the Vision Plan goals and design guidelines in mind, a block-by-block and parcel-by-parcel analysis was performed for this Specific Plan to identify opportunities for enhancing the overall appearance of the Sixth Street corridor and bringing design elements into greater conformance with the western theme. The analysis included the 100-foot street right-of-way, the final recommendations for which are addressed in Section 5.0. The results of this analysis and recommendations for private parcels (as well as the right-of-way) are summarized in seven matrices (Blocks A through G), which are keyed to eight site maps (including Ingalls Park) in the appendix. Property owners should be encouraged to review the recommendations pertaining to their own parcels.

The opportunities identified (as reflected in the matrices) along the Sixth Street corridor were divided into six categories, although only A through P contain recommendations that apply to existing improved property. These categories are designated on the site maps with the associated letters:

- A: Architectural and Site Opportunities
- L: Landscape Opportunities
- S: Signage Opportunities
- P: Parking and Access Opportunities
- O: Open Space Opportunities
- D: Development Opportunities
- C: Constraints/Non-Conforming Conditions

Building appearance is one of the most important elements that defines the character of a streetscape. Although the approximately 100 buildings facing Sixth Street from Sierra Avenue to California Avenue are all one and two stories, which is an appropriate rural scale, only about 20 percent have a noticeable western style. Many of these are newer, multi-tenant commercial buildings, including those that have recently benefitted from Redevelopment Agency financial assistance. The largest number of buildings are small single family residences that should be architecturally transformed with relatively simple improvements such as parapets, roof extensions supported by wood posts, and small paned windows. It is anticipated that such architectural improvements will most likely occur at such time as the dwellings are converted to retail and other commercial uses. The Specific Plan

provides incentives, but does not require architectural improvements to residential structures that remain in residential use. In some cases, changing only the exterior color of a building to an earth tone or dark color would be effective.

In keeping with the goals and objectives of this Specific Plan, property owners with buildings that do not reflect the western design theme should be encouraged to redesign building facades visible from Sixth Street in conformance with the standards and guidelines of Section 3.5 and Section 5.0, where applicable (e.g., gateways).

Site opportunities include the change in the color, removal, or redesign of existing fencing so fences would better conform to the standards and guidelines, as well as the installation of two-rail wood fencing to match the equestrian trail fence. Examples of this type of redesign are replacing chain link fencing with wood rail fencing or painting chain link fence posts with a dark color, and replacing the metal mesh with dark colored vinyl meshing. Other opportunities include the provision of outdoor seating; the provision of horse facilities such as hitching posts; the redesign, removal, or consolidation of post boxes which are located along the street curb; and the screening or removal of large garbage bins and other unattractive site features.



▲ *Lack of western character and amenities.*

There are opportunities to landscape the front setback, side setbacks and other areas of lots visible from Sixth Street with shade and accent trees, shrubs, ground covers and vines, add landscape islands within parking lots, provide founda-















tion plantings, enhance property entrances with flowering plants, and landscape the right-of-way strip adjacent to the curb.









Opportunities for improving signage to achieve greater uniformity, a more western appearance, and reduce visual clutter include the consolidation of signage on individual parcels, removal of free standing and unnecessary temporary signs, redesign of signs and reduction of window signage, and sign square footage.

Property owners should be encouraged to provide direct pedestrian connections between the right-of-way boardwalk and existing buildings and between the equestrian path and on-site horse facilities where there are no obstacles such as parking lots.

There are opportunities for relocating street-front parking to the sides or backs of buildings, and sharing and reducing driveway curb cuts.

**LEGEND:**

-  Architectural and Site Opportunities (see matrix)
-  Landscape Opportunities (see matrix)
-  Signage Opportunities (see matrix)
-  Parking and Access Opportunities (see matrix)
-  Development Opportunities (see matrix)
-  Open Space / Park Opportunities (see matrix)
-  Constraints / Non-Conforming Conditions (see matrix)
-  Existing Trees
-  Potential Trees
-  Existing Lighting
-  Potential Lighting
-  Existing Horse Facilities
-  Potential Horse Facilities
-  Curb Cut That Could Be Removed

-  Residential Use
-  Commercial Use
-  Industrial Use
-  Institutional Use
-  Vacant or Park/Open Space
-  Non Conforming Parcel -  
Combine with Adjacent Parcel(s)
-  Existing Equestrian Trail Leading to Sixth Street  
(existing except along drainage channel)
-  Sixth Street Equestrian Trail

Note: Special paving to be installed at all intersections as noted.

4/26/99(CNR730)



City of Norco  
Sixth Street Specific Plan  
Block A

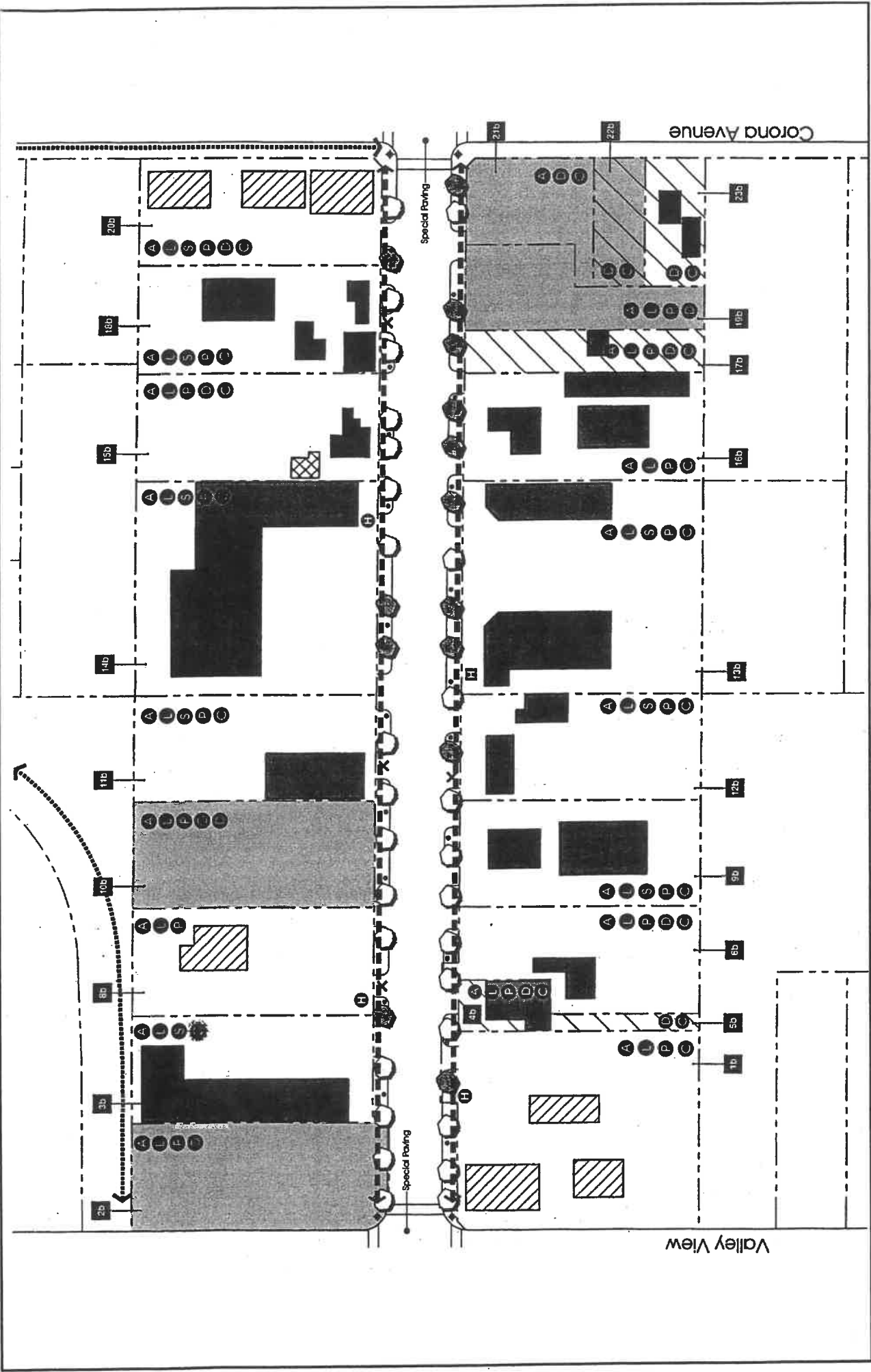


4/26/99(CNR730)


Scale is Approximate  
0' 80' 160'

**ISA**

City of Norco  
 Sixth Street Specific Plan  
 Block B

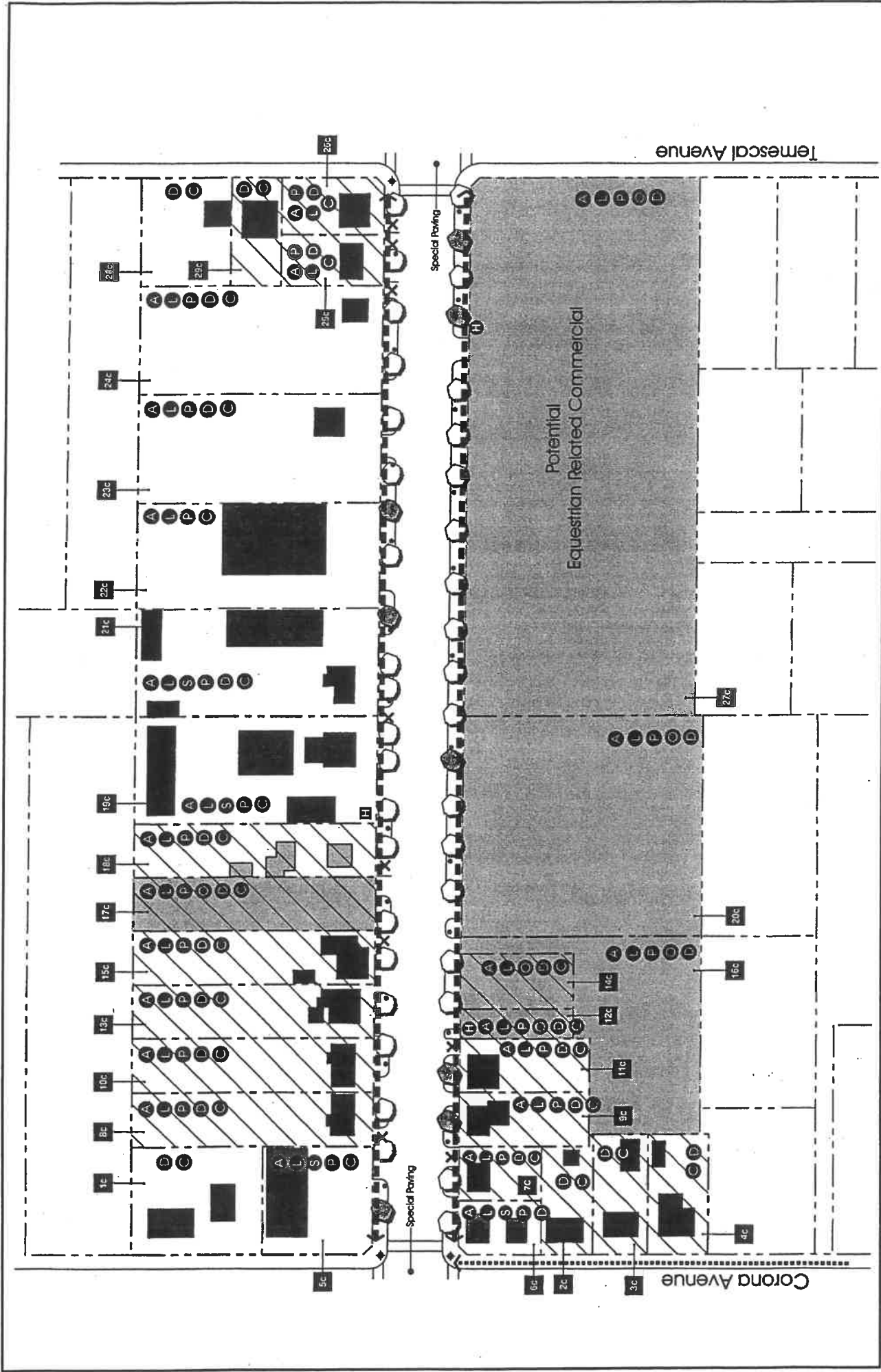


4/26/99(CNR730)


**LSA**  
 Scale is Approximate  
 0' 80' 160'



City of Norco  
Sixth Street Specific Plan  
Block C



4/26/99(CNR730)

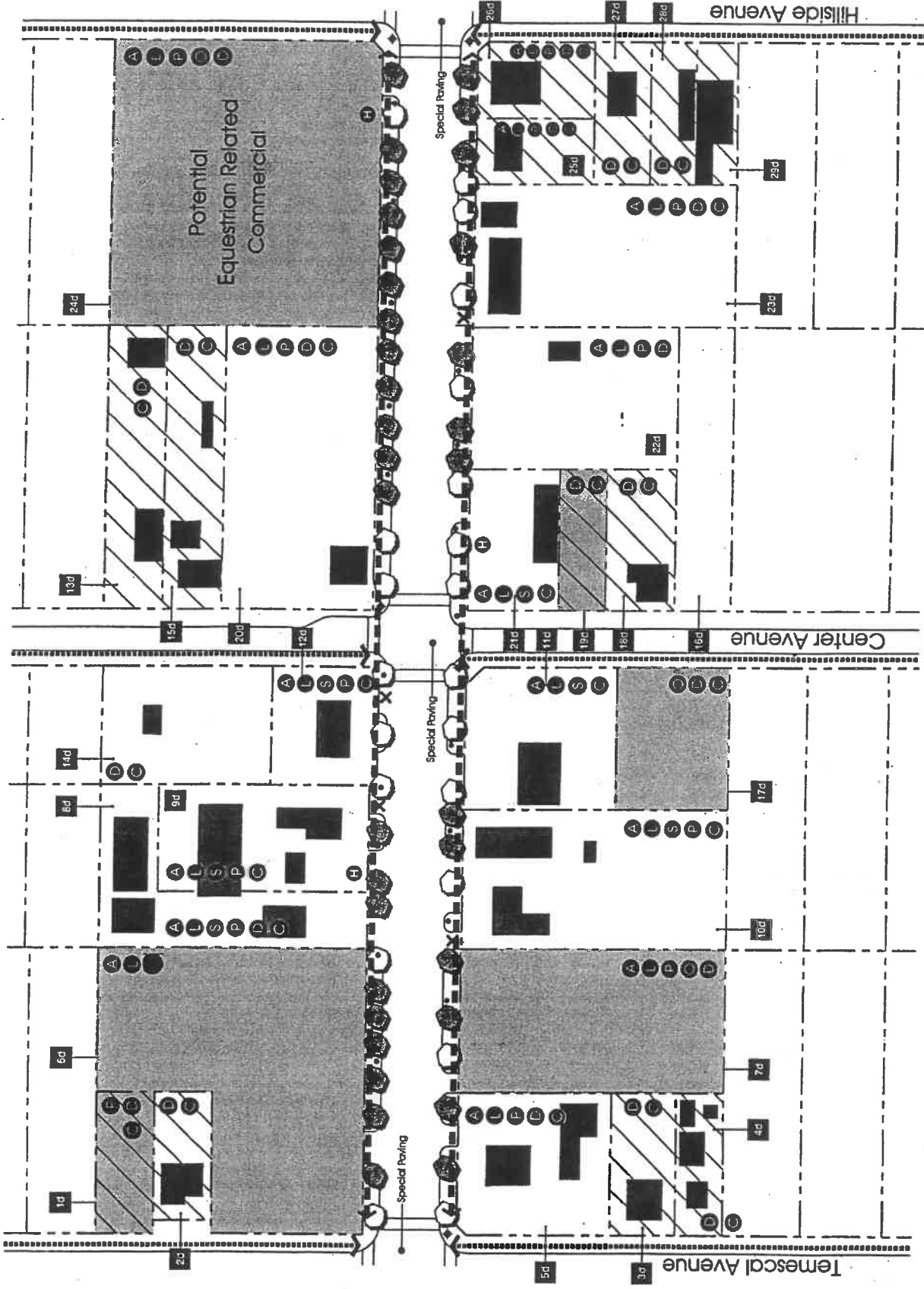


LSA


Scale is Approximate



City of Norco  
 Sixth Street Specific Plan  
 Block D



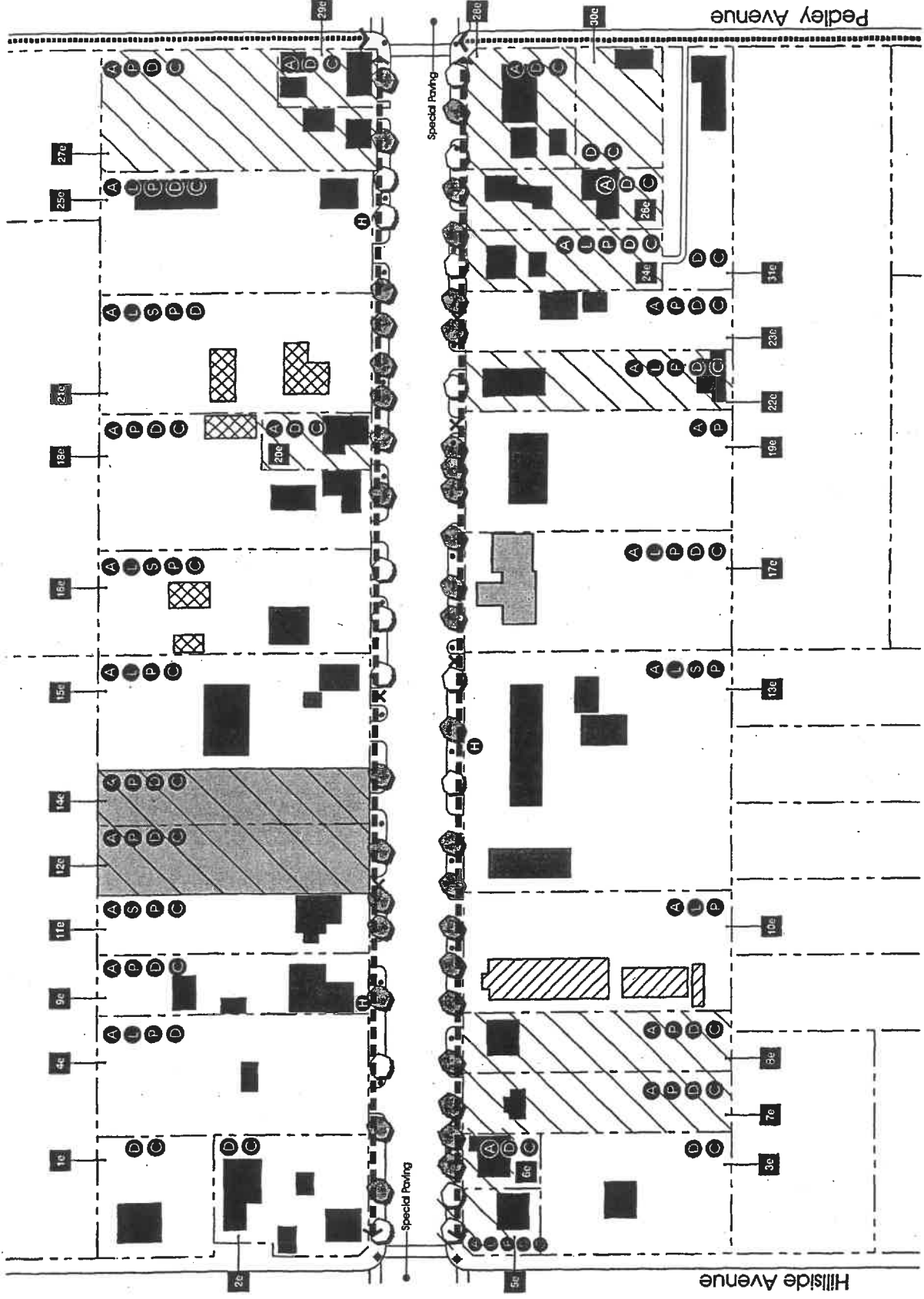
4/26/99(CNR/730)


  
**LSA**


Scale is Approximate

0' 80' 160'

City of Norco  
Sixth Street Specific Plan  
Block E



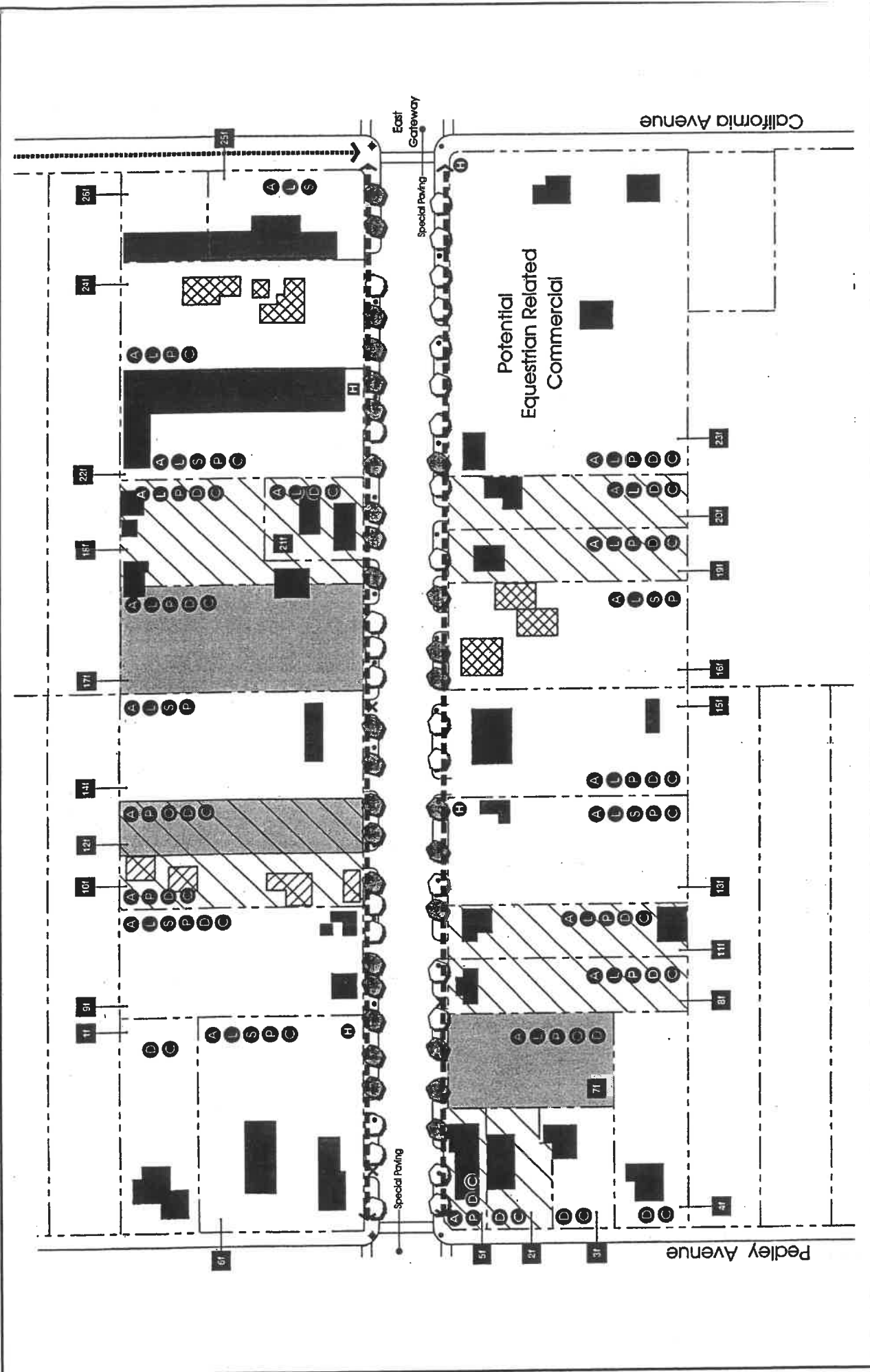
4/26/99(CNR730)

Scale is Approximate

0' 80' 160'

City of Norco  
Sixth Street Specific Plan  
Block F



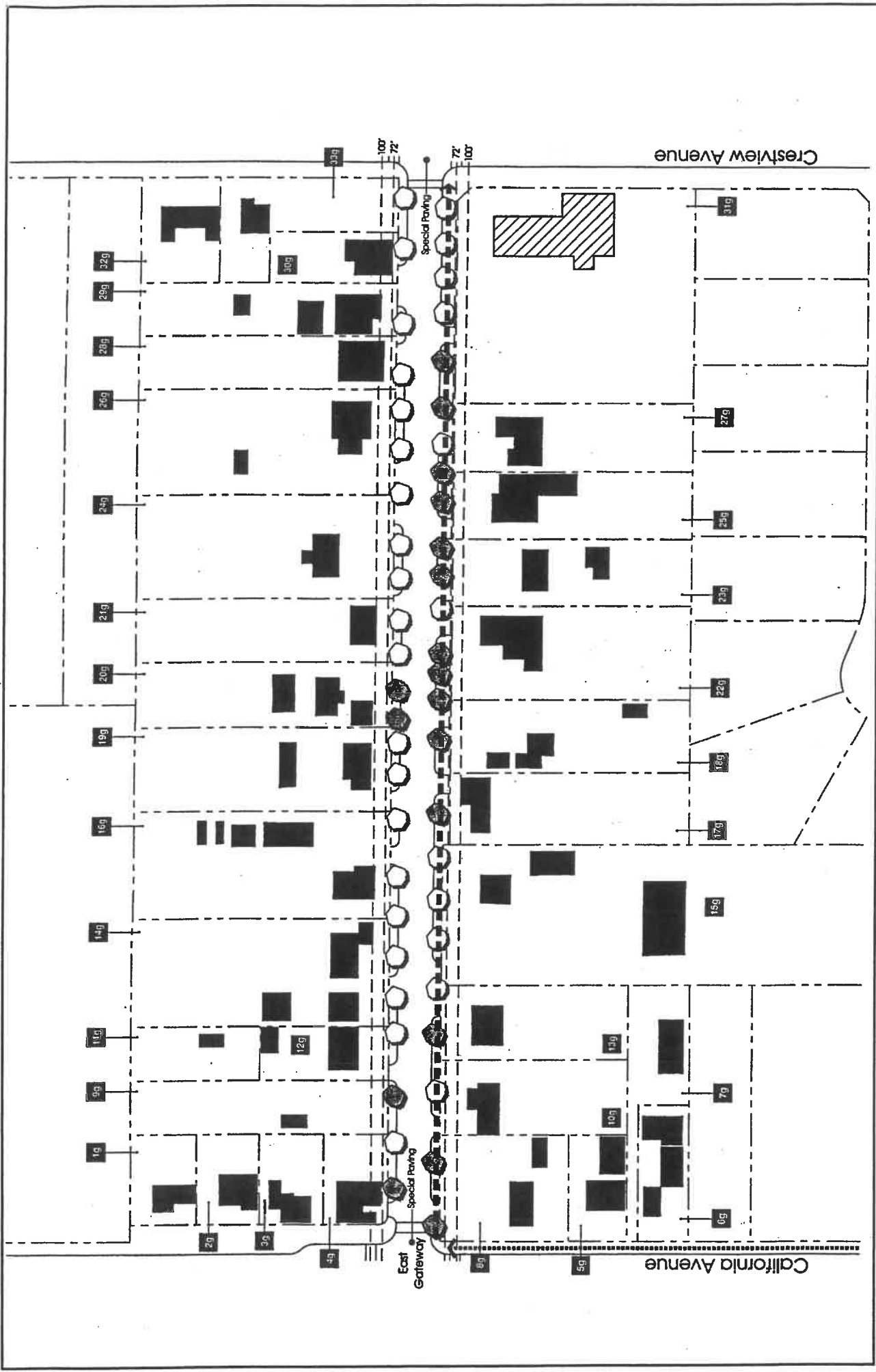
4/26/99 (CNR730)

Scale is Approximate

0' 80' 160'

LSA

City of Norco  
Sixth Street Specific Plan  
Block G



4/26/99(CNR730)

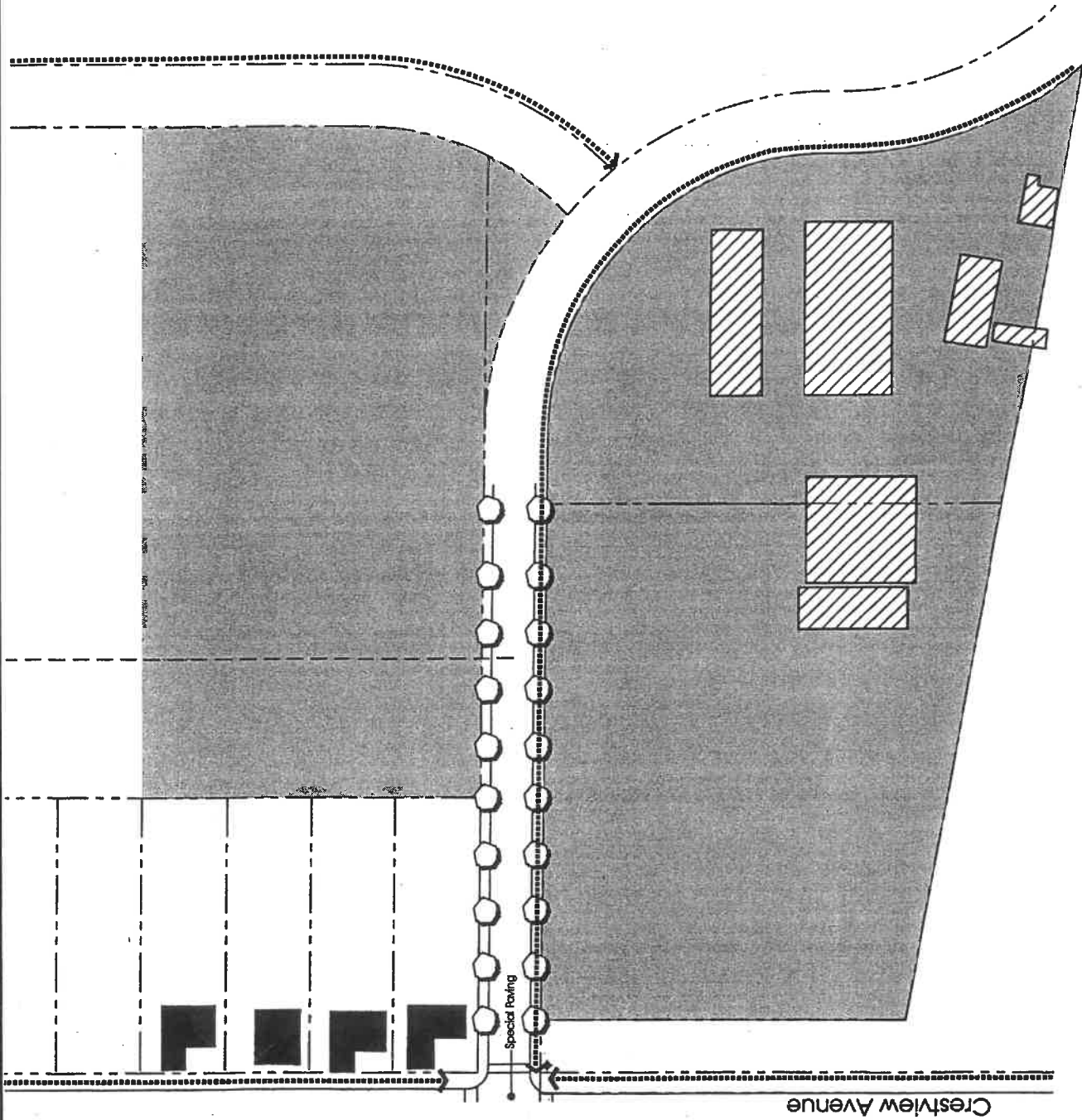


**LSA**

Scale is Approximate



City of Norco  
Sixth Street Specific Plan  
Ingalls Park



4/26/99(CNR/730)



**LSA**

Scale is Approximate

